

PROJECT
LOCATION

VICINITY MAP

ISSUE LOG

No.	DATE ISSUED:	ISSUE DESCRIPTION



TEXAS BOARD OF PROFESSIONAL ENGINEERS F-19379
4611 BIGGAM DRIVE
FRESNO, TEXAS 77545
(832) 443-4150

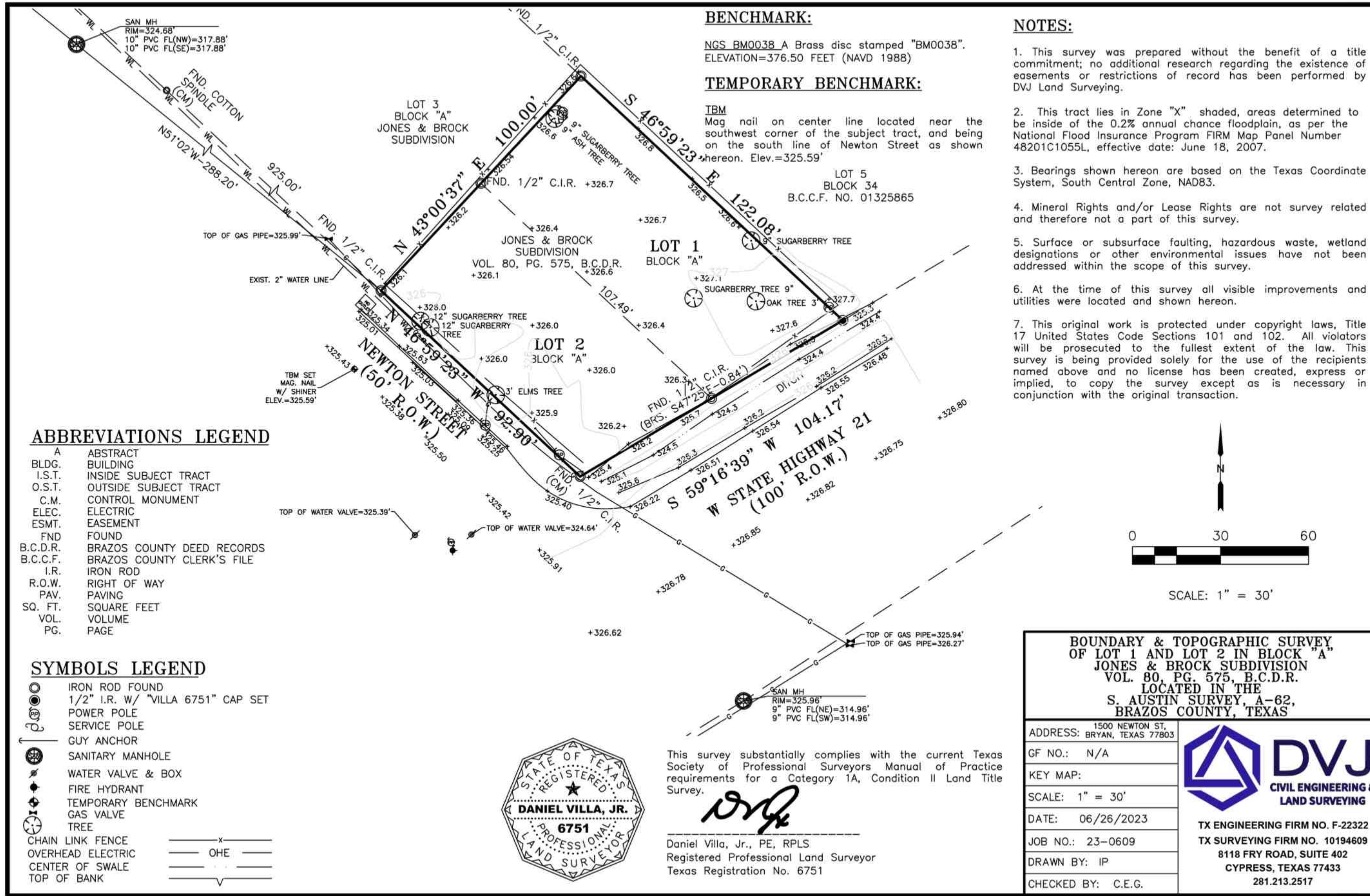
PROPOSED COFFEE HOUSE
1500 NEWTON STREET
BRYAN, TEXAS 77803

VICINITY MAP

DESIGNED BY : G.W. DATE : AUG. 15, 2023
DRAWN BY : M.B. SCALE : N.T.S.
CHECKED BY : PROJECT NO :
APPROVED BY :

SHEET
C0.01

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BENCHMARK:

NGS BM0038_A Brass disc stamped "BM0038".
ELEVATION=376.50 FEET (NAVD 1988)

TEMPORARY BENCHMARK:

TBM
Mag nail on center line located near the southwest corner of the subject tract, and being on the south line of Newton Street as shown hereon. Elev.=325.59'

NOTES:

1. This survey was prepared without the benefit of a title commitment; no additional research regarding the existence of easements or restrictions of record has been performed by DVJ Land Surveying.
2. This tract lies in Zone "X" shaded, areas determined to be inside of the 0.2% annual chance floodplain, as per the National Flood Insurance Program FIRM Map Panel Number 48201C1055L, effective date: June 18, 2007.
3. Bearings shown hereon are based on the Texas Coordinate System, South Central Zone, NAD83.
4. Mineral Rights and/or Lease Rights are not survey related and therefore not a part of this survey.
5. Surface or subsurface faulting, hazardous waste, wetland designations or other environmental issues have not been addressed within the scope of this survey.
6. At the time of this survey all visible improvements and utilities were located and shown hereon.
7. This original work is protected under copyright laws, Title 17 United States Code Sections 101 and 102. All violators will be prosecuted to the fullest extent of the law. This survey is being provided solely for the use of the recipients named above and no license has been created, express or implied, to copy the survey except as is necessary in conjunction with the original transaction.

ABBREVIATIONS LEGEND

A	ABSTRACT
BLDG.	BUILDING
I.S.T.	INSIDE SUBJECT TRACT
O.S.T.	OUTSIDE SUBJECT TRACT
C.M.	CONTROL MONUMENT
ELEC.	ELECTRIC
ESMT.	EASEMENT
FND	FOUND
B.C.D.R.	BRAZOS COUNTY DEED RECORDS
B.C.C.F.	BRAZOS COUNTY CLERK'S FILE
I.R.	IRON ROD
R.O.W.	RIGHT OF WAY
PAV.	PAVING
SQ. FT.	SQUARE FEET
VOL.	VOLUME
PG.	PAGE

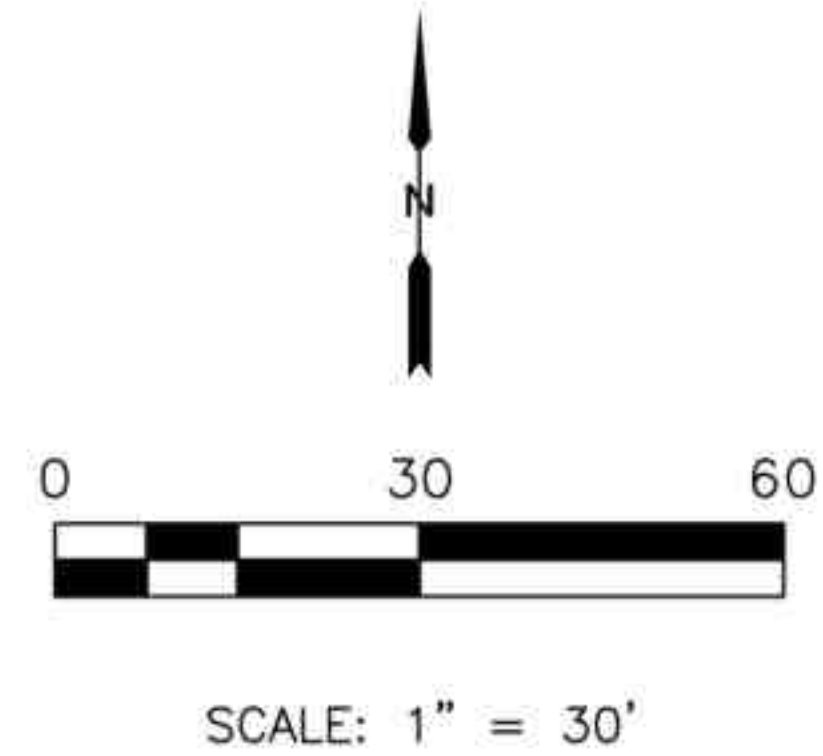
SYMBOLS LEGEND

	IRON ROD FOUND
	1/2" I.R. W/ "VILLA 6751" CAP SET
	POWER POLE
	SERVICE POLE
	GUY ANCHOR
	SANITARY MANHOLE
	WATER VALVE & BOX
	FIRE HYDRANT
	TEMPORARY BENCHMARK
	GAS VALVE
	TREE
	CHAIN LINK FENCE
	OVERHEAD ELECTRIC
	CENTER OF SWALE
	TOP OF BANK



This survey substantially complies with the current Texas Society of Professional Surveyors Manual of Practice requirements for a Category 1A, Condition II Land Title Survey.

Daniel Villa, Jr., PE, RPLS
Registered Professional Land Surveyor
Texas Registration No. 6751



BOUNDARY & TOPOGRAPHIC SURVEY OF LOT 1 AND LOT 2 IN BLOCK "A" JONES & BROCK SUBDIVISION VOL. 80, PG. 575, B.C.D.R. LOCATED IN THE S. AUSTIN SURVEY, A-62, BRAZOS COUNTY, TEXAS

ADDRESS:	1500 NEWTON ST, BRYAN, TEXAS 77803
GF NO.:	N/A
KEY MAP:	
SCALE:	1" = 30'
DATE:	06/26/2023
JOB NO.:	23-0609
DRAWN BY:	IP
CHECKED BY:	C.E.G.

DVJ
CIVIL ENGINEERING & LAND SURVEYING

TX ENGINEERING FIRM NO. F-22322
TX SURVEYING FIRM NO. 10194609
8118 FRY ROAD, SUITE 402
CYPRESS, TEXAS 77433
281.213.2517

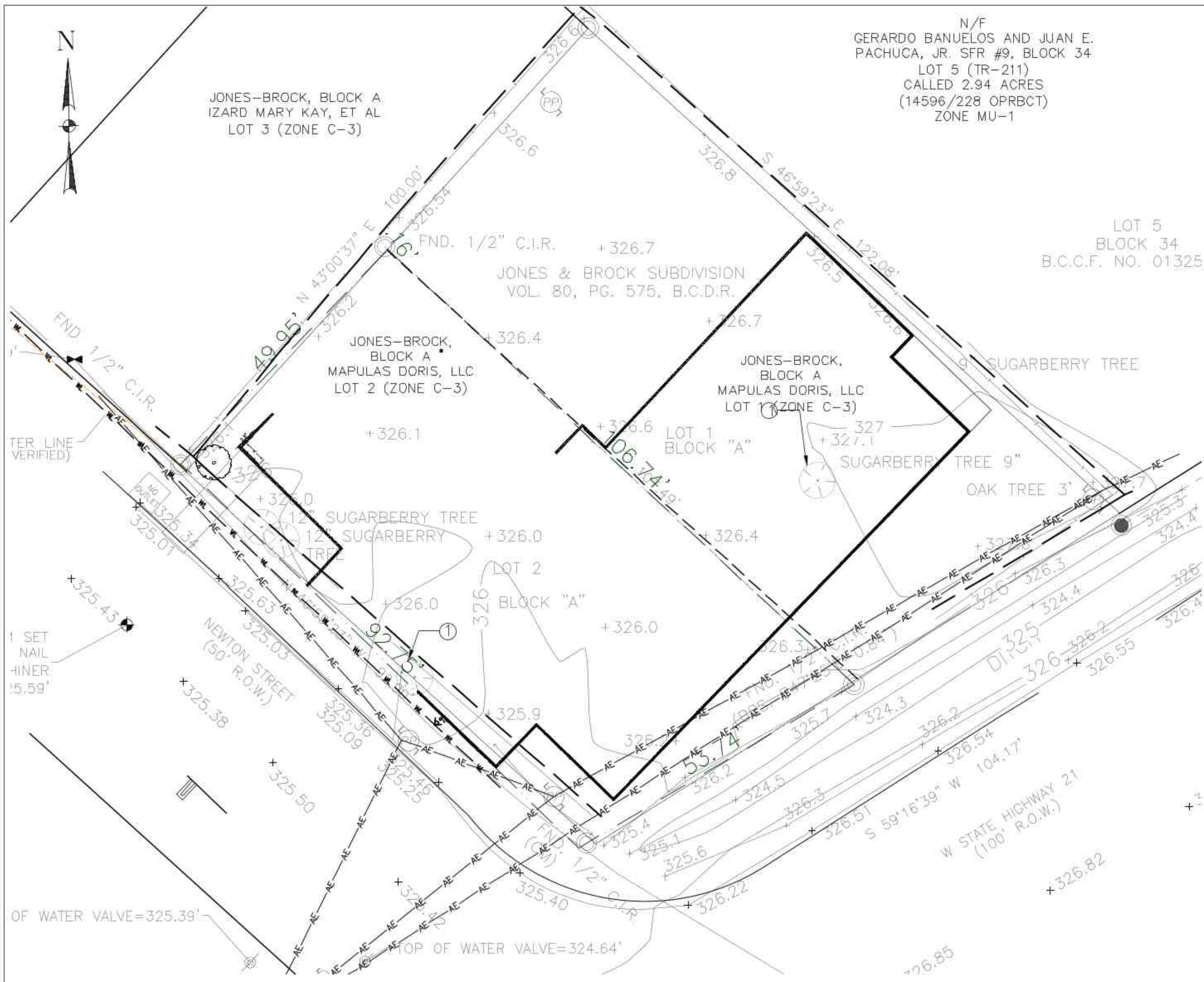


TEXAS BOARD OF PROFESSIONAL ENGINEERS F-19379
4611 BIGGAM DRIVE
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(832) 443-4150

PROPOSED COFFEE HOUSE
1500 NEWTON STREET
BRYAN, TEXAS 77803

TOPOGRAPHIC SURVEY

DESIGNED BY: G.W. DATE: AUG. 15, 2023
DRAWN BY: M.B. SCALE: N.T.S.
CHECKED BY: PROJECT NO:
APPROVED BY:



N/F
 GERARDO BANUELOS AND JUAN E.
 PACHUCA, JR. SFR #9, BLOCK 34
 LOT 5 (TR-211)
 CALLED 2.94 ACRES
 (14596/228 OPRBCT)
 ZONE MU-1

LOT 5
 BLOCK 34
 B.C.C.F. NO. 01325

1. CONTRACTOR SHALL SECURE ALL REQUIRED PERMITS AND PROVIDE ALL REQUIRED NOTIFICATIONS PRIOR TO WORK.
2. ALL DEMOLITION WORK TO BE PERFORMED WITHIN PROJECT PROPERTY LINES UNLESS AUTHORIZED OTHERWISE BY APPLICABLE PROPERTY OWNER. NO WORK TO BE PERFORMED WITHIN ADJACENT STREET ROW UNTIL APPLICABLE PERMITS OBTAINED AND NOTIFICATIONS ARE PROVIDED.
3. ALL SWPPP CONTROLS TO BE INSTALLED PRIOR TO DEMOLITION WORK AS APPLICABLE, RE: SHT C7.00 & C8.01.
4. REMOVE ALL ITEMS AS REQUIRED TO FACILITATE PROPOSED CONSTRUCTION. NOTIFY ENGINEER AND OBTAIN APPROVAL PRIOR TO WORK FOR REMOVAL OF ANY ITEMS FOUND NOT INDICATED ON THIS PLAN.
5. REMNANTS OF BURIED STRUCTURES OR ABANDONED UTILITIES SHALL BE REMOVED TO A MINIMUM OF 24 INCHES BELOW FINAL SUBGRADE ELEVATION UNLESS INDICATED OTHERWISE. ALL ABANDONED UTILITIES AUTHORIZED TO REMAIN SHALL BE CAPPED WATERTIGHT.
6. ALL SOILS DISTURBED DURING THE DEMOLITION OF STRUCTURES, TREES, OR UNDERGROUND UTILITIES SHALL BE REMOVED OR REPLACED AND COMPACTED IN ACCORDANCE WITH PROJECT SPECIFICATIONS AND GEOTECHNICAL REPORT RECOMMENDATIONS.

KEY NOTES:

- ① REMOVE AND DISPOSE EXIST. TREE.

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GRADING PLAN

DESIGNED BY : G.W. DATE : AUG. 15, 2023
 DRAWN BY : M.B. SCALE : 1" = 10'-0"
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 APPROVED BY :

SHEET

C2.00

ISSUE LOG

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PROPOSED LEGEND:

- WM WATER METER
- ➔ SERVICE SADDLE
- WATER LINE
- - - SANITARY SEWER LINE
- CO SAN SWR CLEANOUT
- - - STORM SEWER LINE
- ◻ STORM SEWER INLET
- ▣ RPBP - REDUCED PRESSURE BACKFLOW PREVENTER

EXISTING:

- IRON ROD FOUND
- 1/2" IR. W/ "VILLA 6751" CAP SET
- ⊕ POWER POLE
- ⊕ SERVICE POLE
- ⊕ CUI ANCHOR
- ⊕ SANITARY MANHOLE
- ⊕ WATER VALVE & BOX
- ⊕ FIRE HYDRANT
- ⊕ TEMPORARY BENCHMARK
- ⊕ GAS VALVE
- TREE
- CHAIN LINK FENCE
- OVERHEAD ELECTRIC
- CENTER OF SWALE
- TOP OF BANK



WECS

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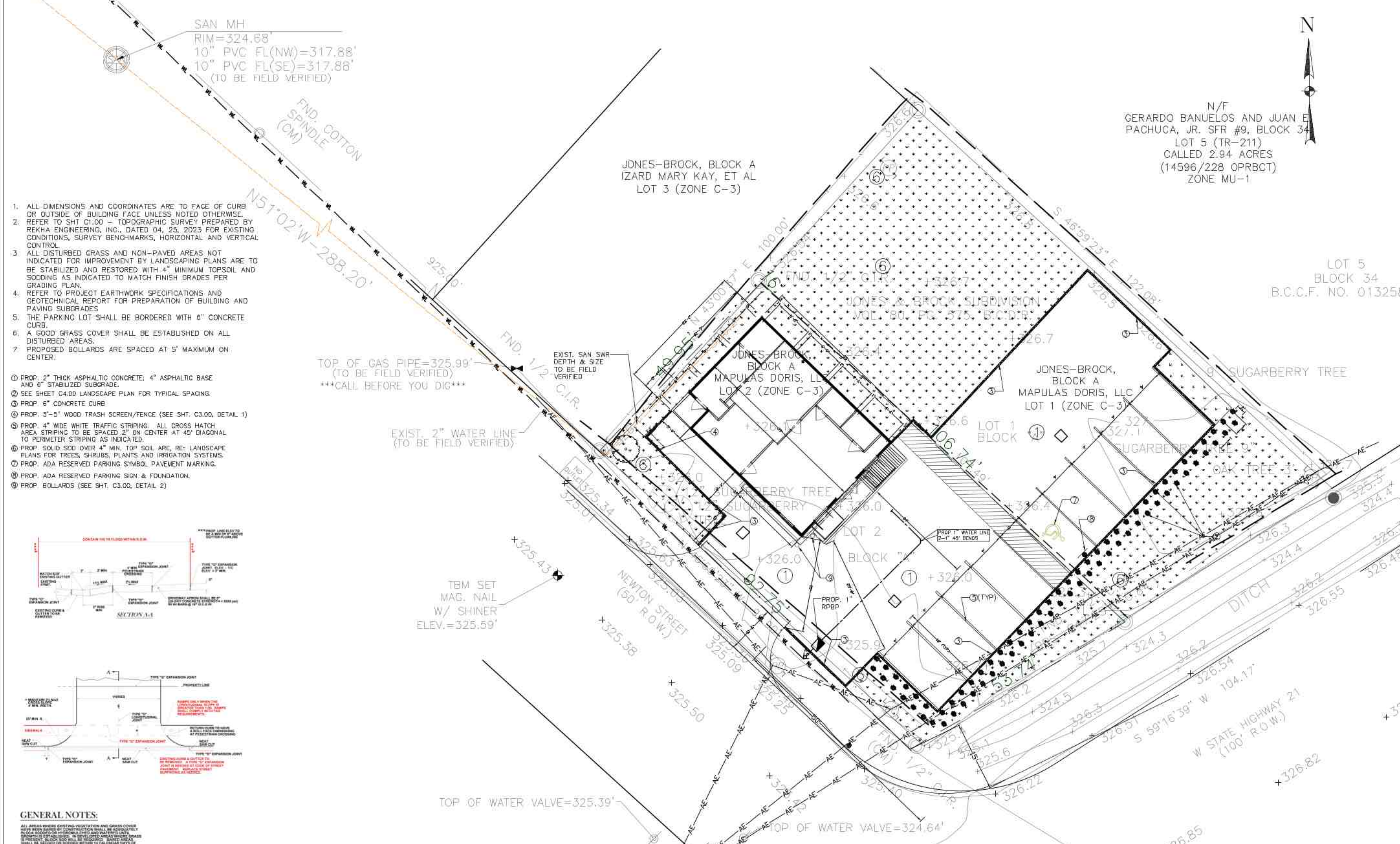
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SITE PLAN

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C3.00



- ALL DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE.
- REFER TO SHT C1.00 - TOPOGRAPHIC SURVEY PREPARED BY REKHA ENGINEERING, INC., DATED 04, 25, 2023 FOR EXISTING CONDITIONS, SURVEY BENCHMARKS, HORIZONTAL AND VERTICAL CONTROL.
- ALL DISTURBED GRASS AND NON-PAVED AREAS NOT INDICATED FOR IMPROVEMENT BY LANDSCAPING PLANS ARE TO BE STABILIZED AND RESTORED WITH 4" MINIMUM TOPSOIL AND SOODING AS INDICATED TO MATCH FINISH GRADES PER GRADING PLAN.
- REFER TO PROJECT EARTHWORK SPECIFICATIONS AND GEOTECHNICAL REPORT FOR PREPARATION OF BUILDING AND PAVING SUBGRADES.
- THE PARKING LOT SHALL BE BORDERED WITH 6" CONCRETE CURB.
- A GOOD GRASS COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS.
- PROPOSED BOLLARDS ARE SPACED AT 5' MAXIMUM ON CENTER.

- PROP. 2" THICK ASPHALTIC CONCRETE, 4" ASPHALTIC BASE AND 6" STABILIZED SUBGRADE.
- SEE SHEET C4.00 LANDSCAPE PLAN FOR TYPICAL SPACINGS.
- PROP. 6" CONCRETE CURB
- PROP. 5'-5" WOOD TRASH SCREEN/FENCE (SEE SHT. C3.00, DETAIL 1)
- PROP. 4" WIDE WHITE TRAFFIC STRIPING. ALL CROSS HATCH AREA STRIPING TO BE SPACED 2" ON CENTER AT 45° DIAGONAL TO PERIMETER STRIPING AS INDICATED.
- PROP. SOLID SOD OVER 4" MIN. TOP SOIL ARE. RE: LANDSCAPE PLANS FOR TREES, SHRUBS, PLANTS AND IRRIGATION SYSTEMS.
- PROP. ADA RESERVED PARKING SYMBOL PAVEMENT MARKING.
- PROP. ADA RESERVED PARKING SIGN & FOUNDATION.
- PROP. BOLLARDS (SEE SHT. C3.00, DETAIL 2)



GENERAL NOTES:

ALL AREAS WHERE EXISTING VEGETATION AND GRASS COVER HAS BEEN REMOVED BY CONTRACTOR SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. UNLESS OTHERWISE NOTED, ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION WITH TOPSOIL AND SODDING AS INDICATED TO MATCH FINISH GRADES PER GRADING PLAN.

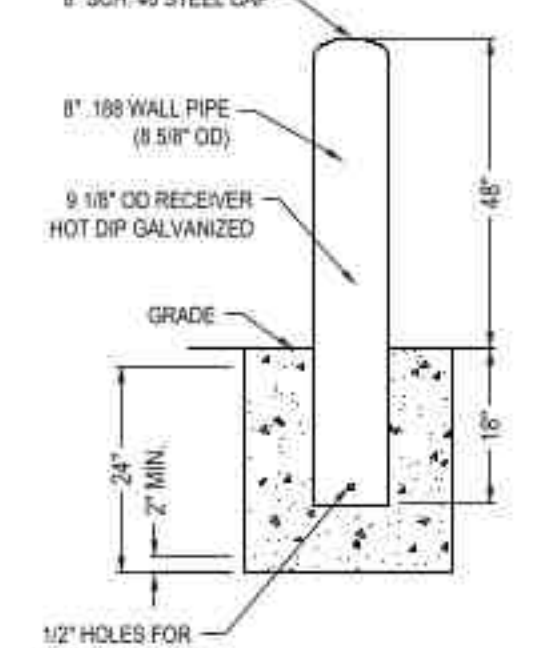
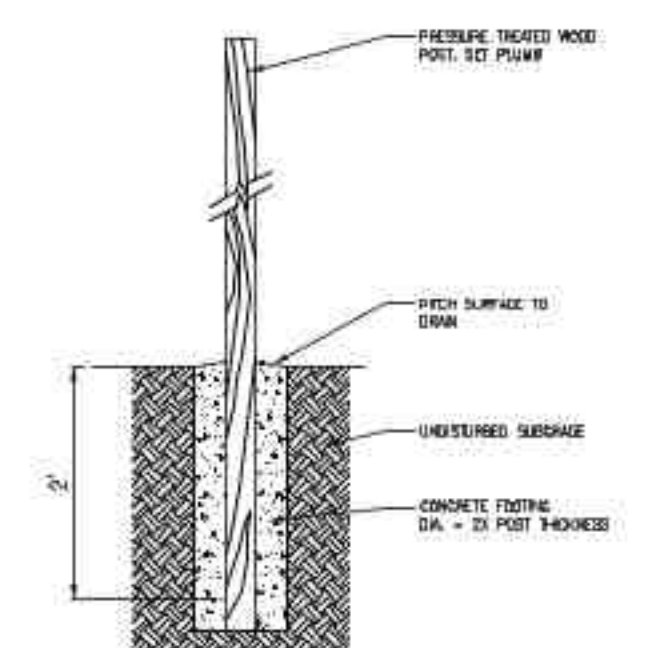
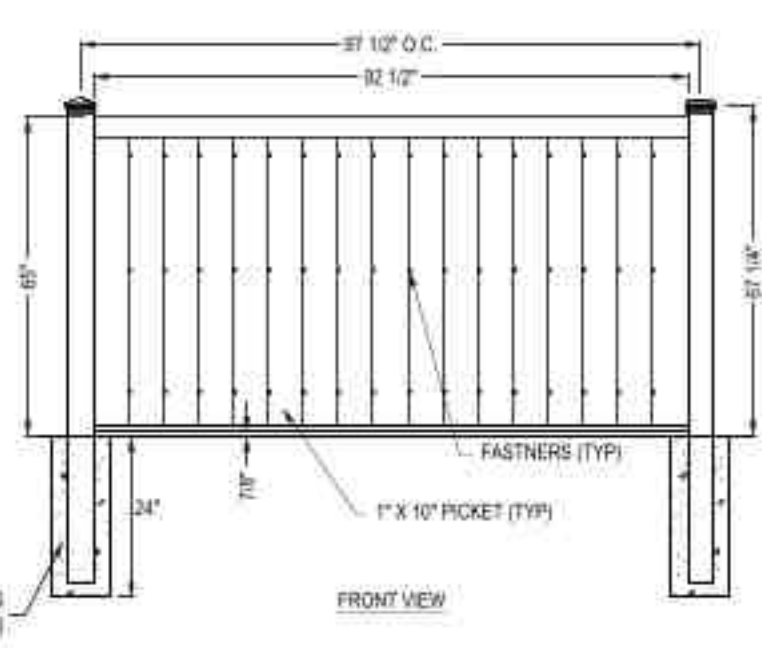
APPROVED PROPOSED CONTROL MEASURES MUST BE INSTALLED BEFORE THE START OF CONSTRUCTION AND ALL EQUIPMENT, MATERIALS AND BARRIERS SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS.

ALL EARTHWORK SHALL BE ACCORDING TO THE GRADING PLAN. ALL EARTHWORK SHALL BE ACCORDING TO THE GRADING PLAN.

ALL PROPOSED CONTROL MEASURES SHOULD BE CLEARED OF SOON AFTER EVERY RAIN.

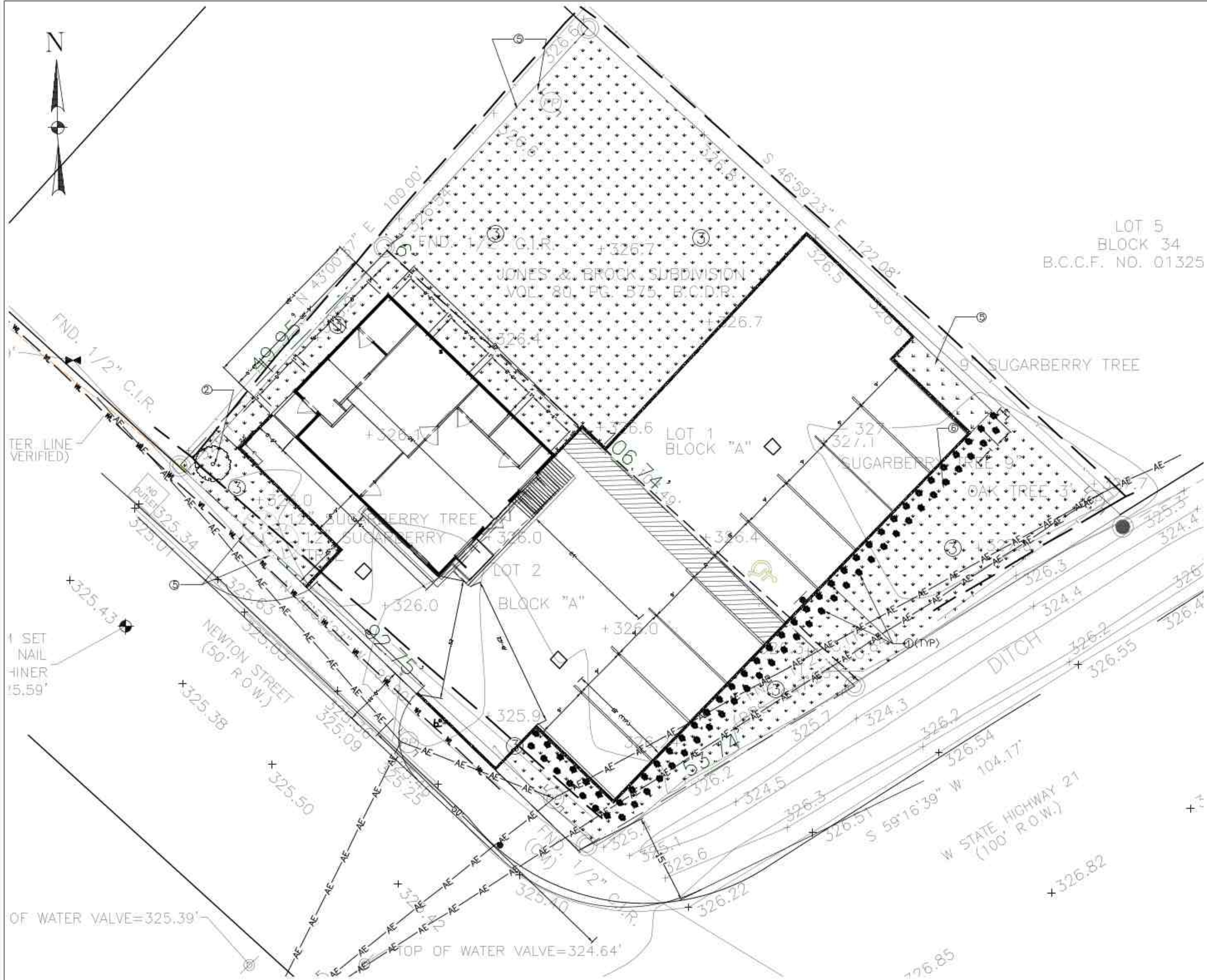
ALL TRAFFIC SIGNALS AND APPROPRIATELY MARKED AND ALL EQUIPMENT, MATERIALS AND BARRIERS SHALL BE IN ACCORDANCE WITH LOCAL STANDARDS.

REFER TO SPEC. 17.12.01 (PAVEMENT MARKINGS) FOR ADDITIONAL LOCAL REQUIREMENTS.



WOOD L-SHAPED TRASH SCREEN/FENCE

BOLLARDS



PROP. SODDING/LANDSCAPE

LOT 5
BLOCK 34
B.C.C.F. NO. 01325

- ① PROP. SHRUB
- ② PROP. WATER OAK TREE
- ③ PROP. SODDING
- ④ SEE SHEET C4.01 LANDSCAPE PLAN FOR TYPICAL SHRUB SPACING.
- ⑤ EXIST. SUGARBERRY TREE
- ⑥ EXIST. OAK TREE

1. ALL DIMENSIONS AND COORDINATES ARE TO FACE OF CURB OR OUTSIDE OF BUILDING FACE UNLESS NOTED OTHERWISE.
2. ALL DISTURBED GRASS AND NON-PAVED AREAS NOT INDICATED FOR IMPROVEMENT BY LANDSCAPING PLANS ARE TO BE STABILIZED AND RESTORED WITH 4" MINIMUM TOPSOIL AND SODDING AS INDICATED TO MATCH FINISH GRADES PER GRADING PLAN.
3. REFER TO PROJECT SPECIFICATIONS FOR ALL MINIMUM AND ADDITIONAL REQUIREMENTS.
4. A GOOD GRASS COVER SHALL BE ESTABLISHED ON ALL DISTURBED AREAS.

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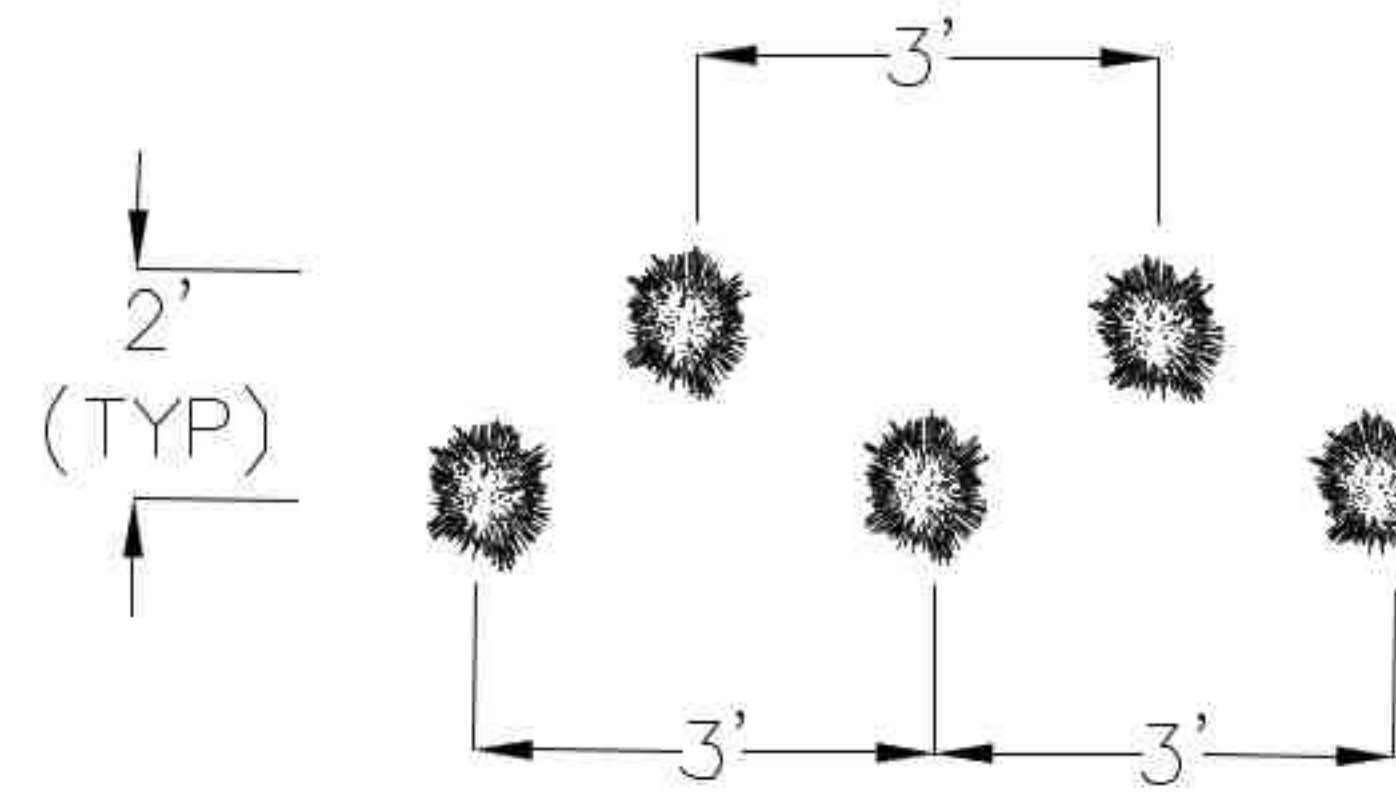
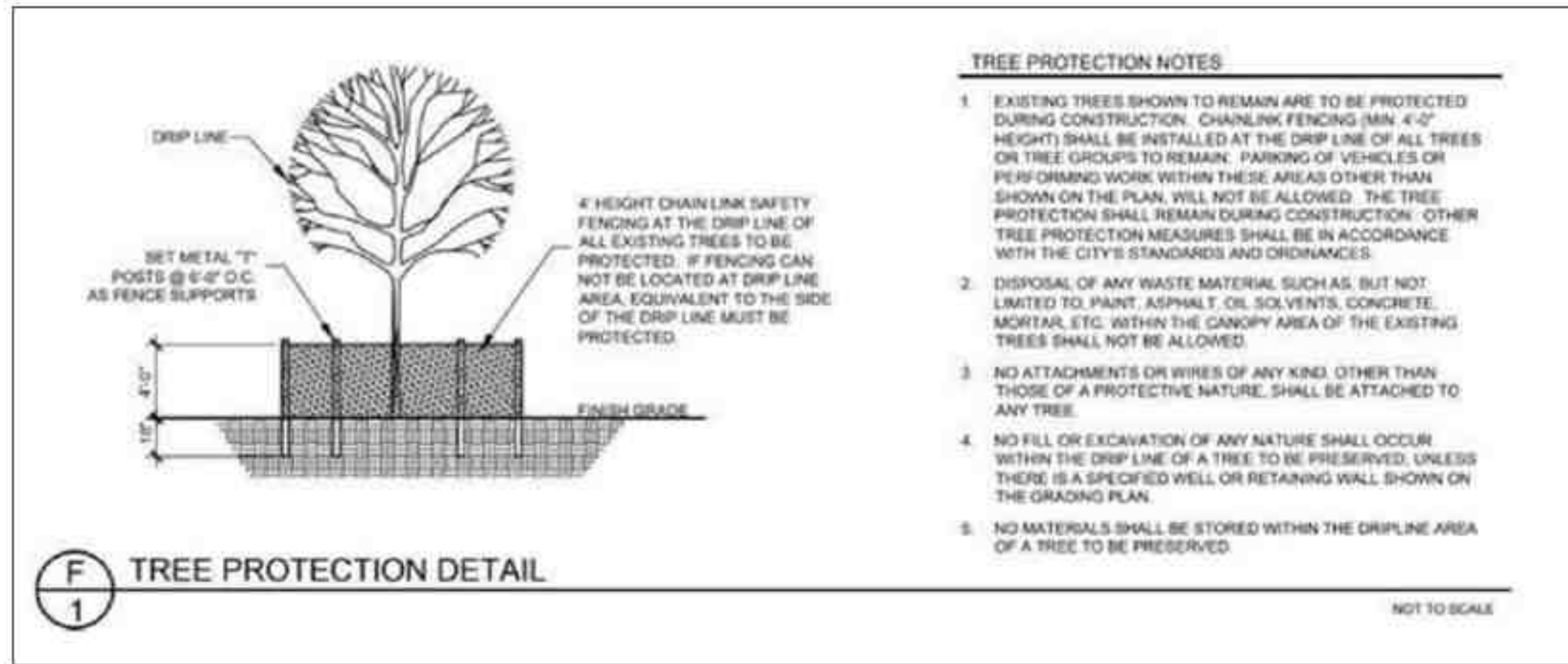
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1500 NEWTON STREET
BRYAN, TEXAS 77803

LANDSCAPE PLAN

DESIGNED BY : G.W. DATE : AUG. 15, 2023
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C4.00



SYMBOL	SIZE	OFFICIAL NAME	No.	SF VALUE	TOTAL
	1.5" - 3" CALIPER	15 GALLON SHRUBS (3' IN HEIGHT OR TO GROW 3' IN HEIGHT)	77	15	1155
	1-3" CALIPER	PROP. WATER OAK TREE	4	200	800

TOTAL ARE PROVIDED: 1,955 SF

LANDSCAPE REQUIREMENTS:

- 1) 15% OF DEVELOPED AREA 0.24 ACRES (10,578 SF) = 1,587 SF OF LANDSCAPING
- 2) NOT LESS THAN 50% OF REQUIRED AREA SHALL BE TREES - 794 SF REQ'D: 800 SF PROVIDED
- 3) NOT LESS THAN 50% OF TREES PLANTED SHALL BE CANOPY- 397 SF REQ'D: 800 SF PROVIDED

TOTAL AREA REQUIRED: 1,587 SF
 TOTAL LANDSCAPE AREA PROVIDED: 1,955 SF
 AUTOMATIC IRRIGATION IS REQUIRED FOR THIS PROJECT

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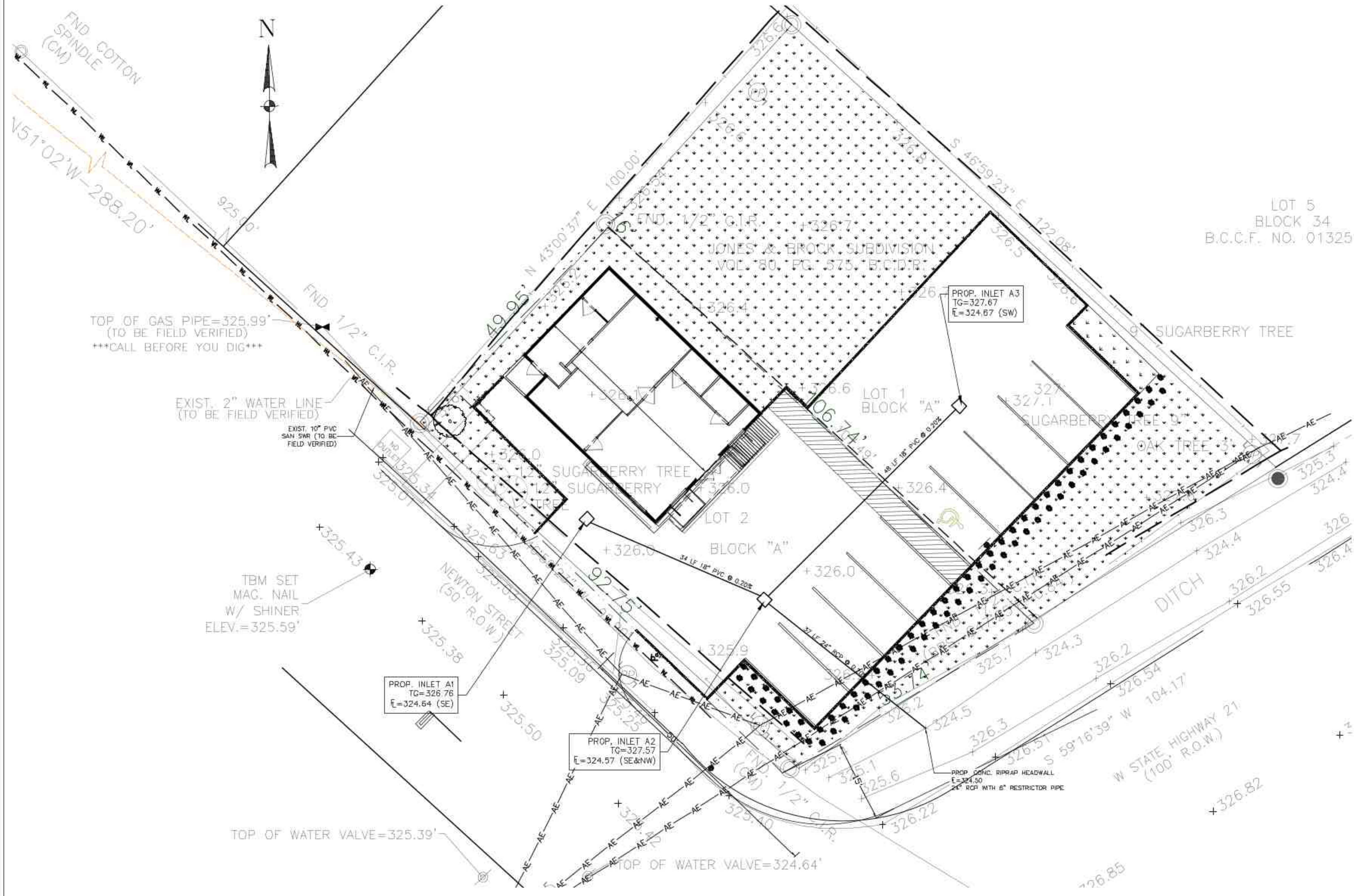
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LEGEND :

FFE	FINISHED FLOOR ELEV.
→	EXTREME EVENT FLOW
TC	TOP OF GRATE
TP	TOP OF PAVEMENT
□	PROP. STORM SEWER INLET
—	PROP. STORM SEWER PIPE

LOT 5
BLOCK 34
B.C.C.F. NO. 01325

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1. REFER TO SHT C8.00 – UTILITY PLAN FOR WASTEWATER/SANITARY UTILITIES.



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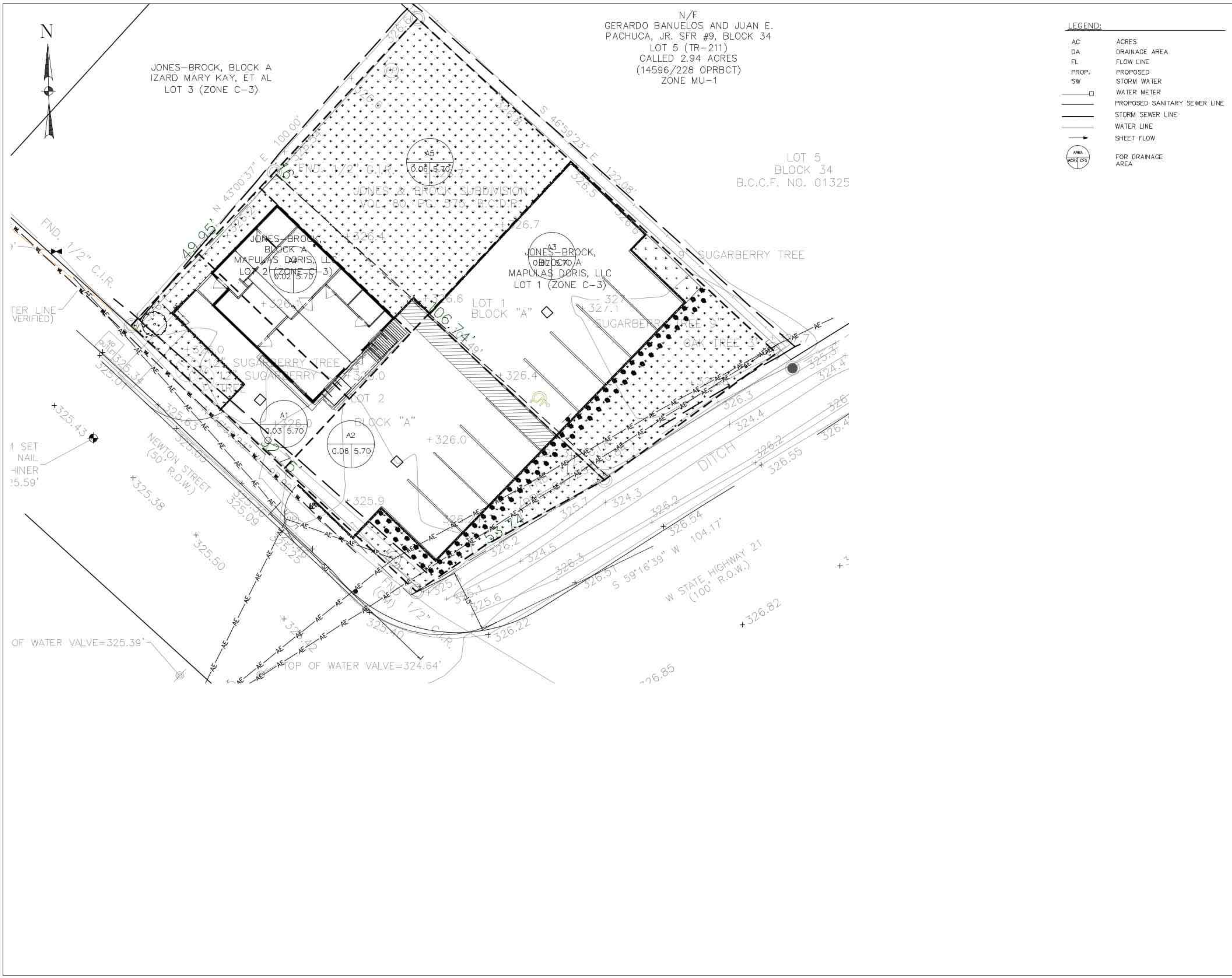
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DRAINAGE PLAN

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SHEET

C5.00



N/F
 GERARDO BANUELOS AND JUAN E.
 PACHUCA, JR. SFR #9, BLOCK 34
 LOT 5 (TR-211)
 CALLED 2.94 ACRES
 (14596/228 OPRBCT)
 ZONE MU-1

JONES-BROCK, BLOCK A
 IZARD MARY KAY, ET AL
 LOT 3 (ZONE C-3)

LOT 5
 BLOCK 34
 B.C.C.F. NO. 01325

LEGEND:

AC	ACRES
DA	DRAINAGE AREA
FL	FLOW LINE
PROP.	PROPOSED
SW	STORM WATER
	WATER METER
	PROPOSED SANITARY SEWER LINE
	STORM SEWER LINE
	WATER LINE
	SHEET FLOW
	FOR DRAINAGE AREA

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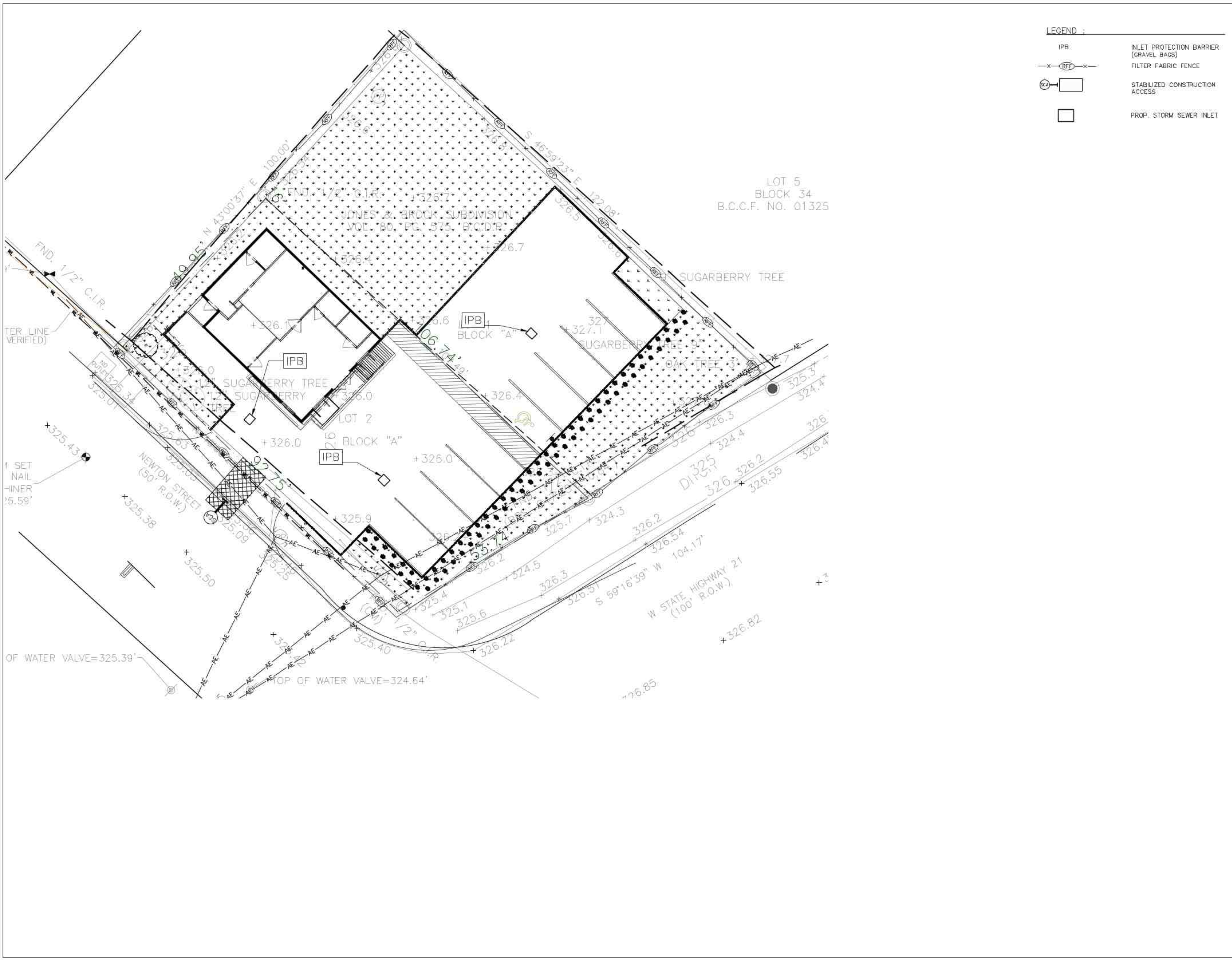
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DRAINAGE AREA MAP

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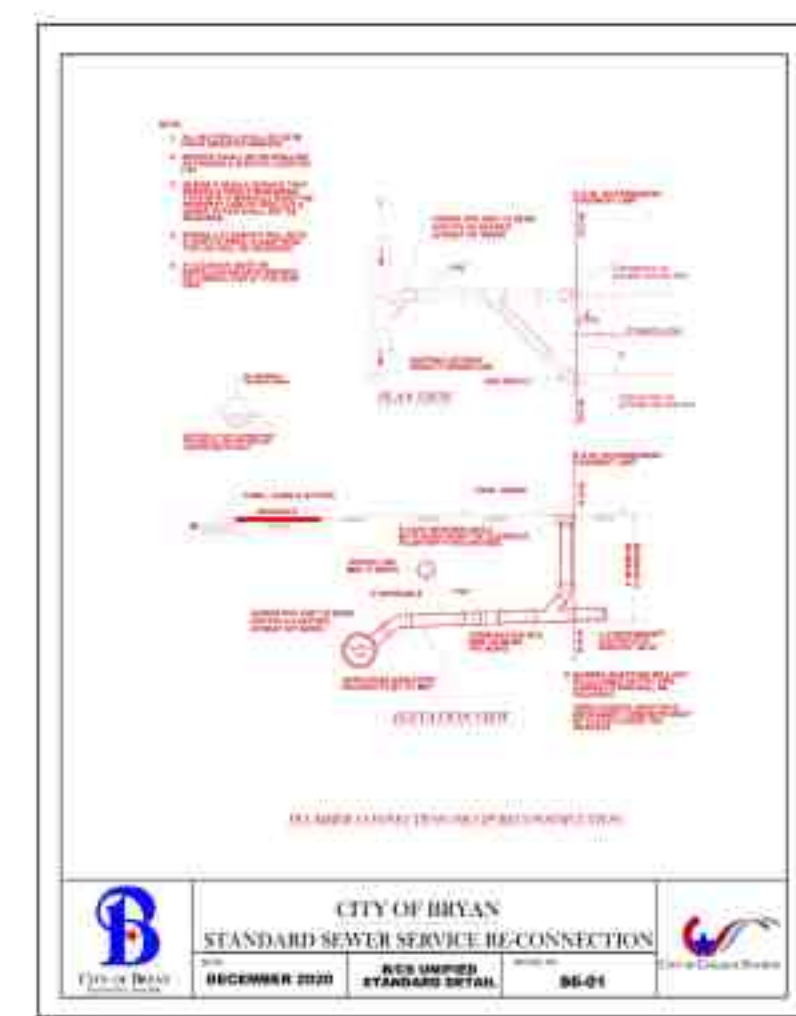
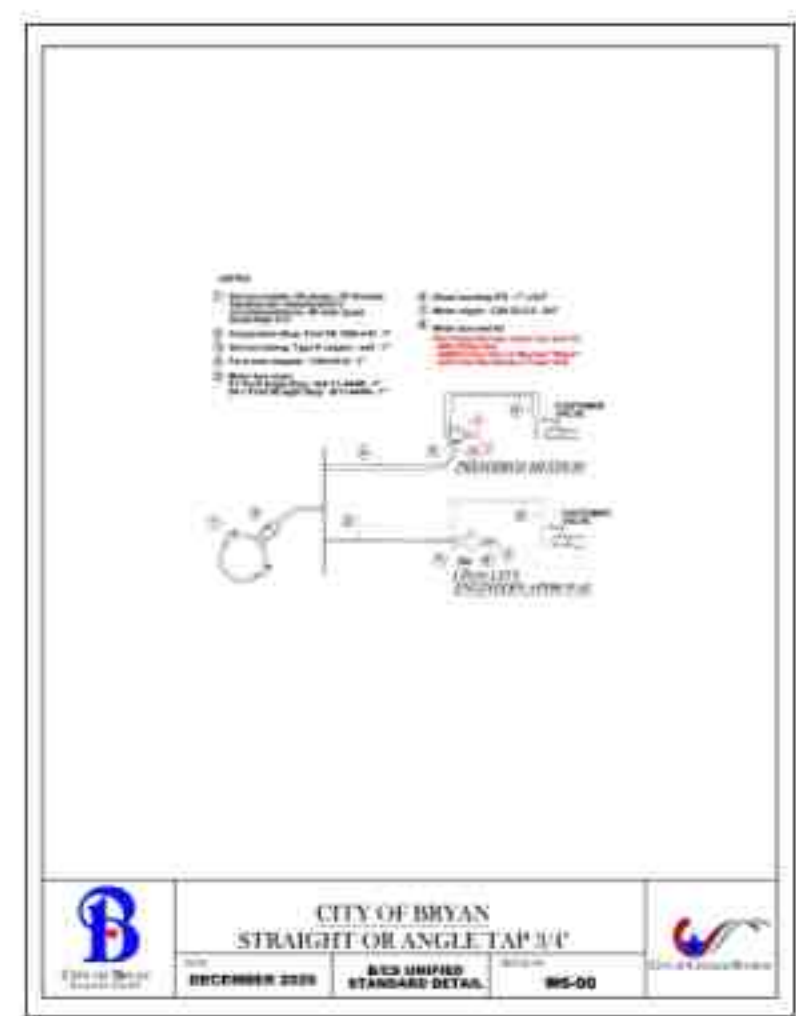
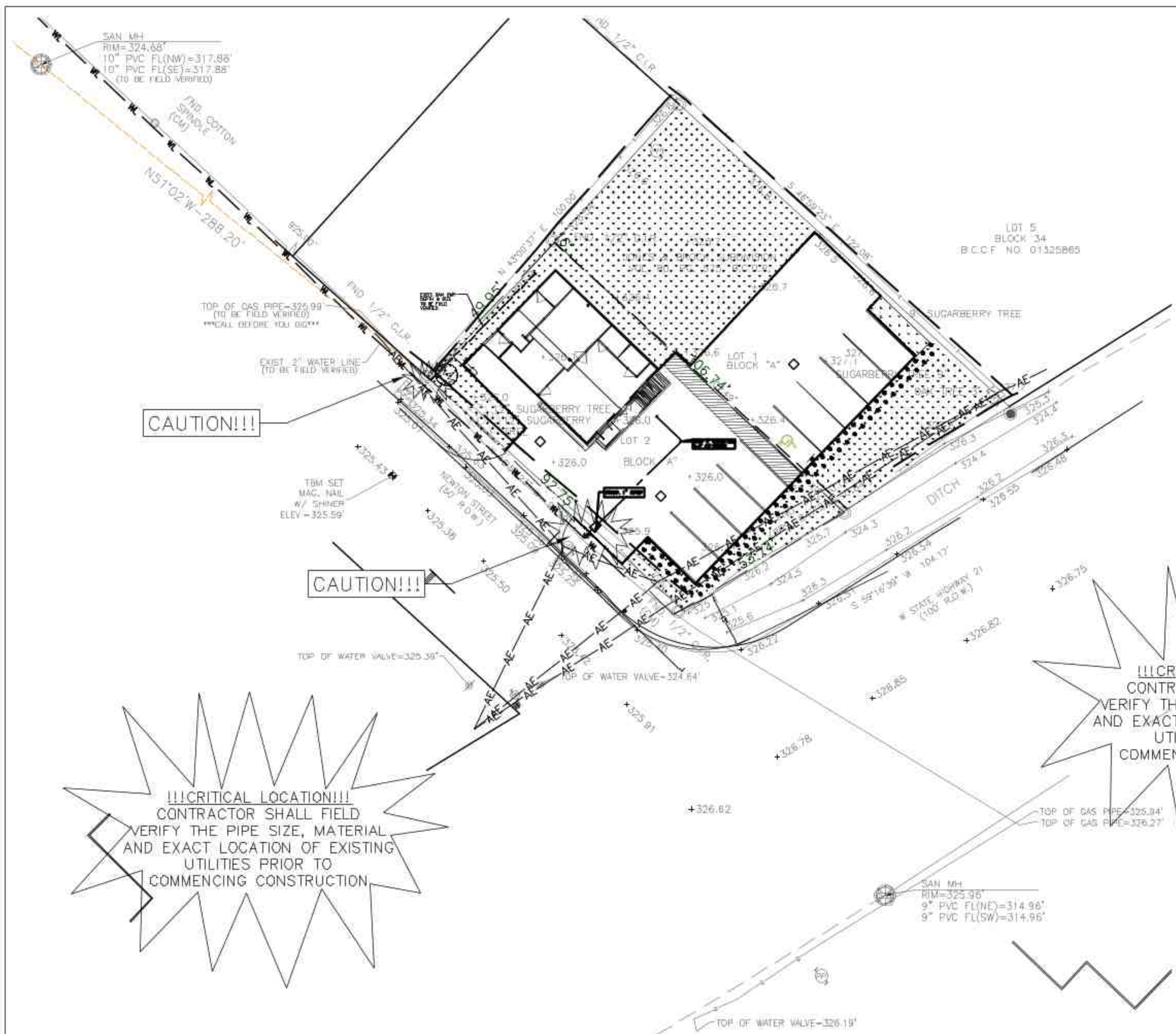
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EROSION CONTROL PLAN

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PROPOSED LEGEND:

- WM WATER METER
- SERVICE SADDLE
- WATER LINE
- SANITARY SEWER LINE
- SAN SWR CLEANOUT
- STORM SEWER LINE
- STORM SEWER INLET
- RPBPFP - REDUCED PRESSURE BACKFLOW PREVENTER

EXISTING:

- IRON ROD FOUND
- 1/2" IR. W/ "YILLA 8751" CAP SET
- POWER POLE SERVICE POLE
- GUY ANCHOR
- SANITARY MANHOLE
- WATER VALVE & BOX
- FIRE HYDRANT
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!!!CRITICAL LOCATION!!!
 CONTRACTOR SHALL FIELD VERIFY THE PIPE SIZE, MATERIAL AND EXACT LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

!!!CRITICAL LOCATION!!!
 CONTRACTOR SHALL FIELD VERIFY THE PIPE SIZE, MATERIAL AND EXACT LOCATION OF EXISTING UTILITIES PRIOR TO COMMENCING CONSTRUCTION.

- WATER CONSTRUCTION NOTES**
1. WATER LINES SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST CITY OF HOUSTON INFRASTRUCTURE DESIGN MANUAL, STANDARD SPECIFICATION, AND CONSTRUCTION DETAILS.
 2. ALL 4" THROUGH 12" WATER LINE TO BE AWWA C-900 PVC DR-18 BLUE PRESSURE RATED WATER MAIN WITH 2" AND SMALLER WATER SERVICE LINE TO BE CONTINUOUS TYPE K COPPER TUBING PER COH STANDARD SPECIFICATION SECTION 02503. ALL 4" WITH INSIDE LINING WITH AWWA C104 AND DOUBLE WRAPPED WITH 8-MIL POLYETHYLENE SHEETS.
 3. CONCRETE THRUST BLOCKS SHALL BE PROVIDED AS NECESSARY TO PREVENT PIPE MOVEMENT. USE RESTRAINED JOINTS WHERE PREVENTING MOVEMENT OF 1/8 THRUST.
 4. ALL WATER LINES UNDER PROPOSED OR FUTURE PAVING AND TO A POINT OF ONE (1) FOOT BACK OF ALL PROPOSED OR FUTURE CURBS SHALL BE ENCASED IN BANK SAND TO 12" OVER PIPE AND BACKFILLED WITH CEMENT STABILIZED SAND TO WITHIN ONE (1) FOOT OF SUBGRADE.
 5. ALL WATER LINE AND SEWER LINE CROSSINGS SHALL BE CONSTRUCTED PER CITY OF HOUSTON AND TCEQ REGULATIONS.
 6. ALL WATER VALVES SHALL BE SUPPLIED AND INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA C-500 AND SHALL BE OF THE RESILIENT SEAT TYPE.
 7. ALL WATER LINES TO BE DISINFECTED IN CONFORMANCE WITH AWWA C-651 AND THE TEXAS STATE DEPARTMENT OF HEALTH. AT LEAST ONE BACTERIOLOGICAL SAMPLE SHALL BE COLLECTED FOR EVERY 1,000' LINEAR FEET OF WATER LINE AND SHALL BE REPEATED IF CONTAMINATION PERSISTS.
 8. ALL BELOW GRADE VALVES SHALL BE CASKETS, HUB-END GATE VALVES WITH A CAST IRON BOX, EXCEPT WHERE FLANGES ARE CALLED OUT ON THE PLANS. THRU 12" FITTINGS SHALL BE CEMENT MORTAR LINED COMPACT DUCTILE IRON PRESSURE FITTINGS PER ANSI A21.53, OR PUSH ON FITTINGS PER ANSI A21.10 PRESSURE RATED AT 250 PSIG.
 10. HYDROSTATIC TESTING: ALL WATER PIPE SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LATEST COUNTY STANDARD CONSTRUCTION SPECIFICATIONS. TESTS ARE TO BE PERFORMED ON THE ENTIRE FOOTAGE OF WATER PIPE LINE INCLUDED IN THE PROJECT.
 11. ALL WATER LINES TO HAVE 4' OTHER UTILITIES AT CROSSING UNLESS OTHERWISE NOTED ON PLANS. ALL WATER LINE INSTALLED OVER DEEP SHALL UTILIZE RESTRAINED JOINT FITTINGS.
 12. CONTRACTOR SHALL KEEP WATER PIPE CLEAN AND CAPPED (OR OTHERWISE EFFECTIVELY COVERED) OPEN PIPE ENDS TO EXCLUDE INSECTS, ANIMALS OR OTHER SOURCES OF CONTAMINATION FROM UNFINISHED PIPE LINES AT TIMES WHEN CONSTRUCTION IS NOT IN PROGRESS.

- GENERAL NOTES:**
1. CONSTRUCT WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE AND STREET PAVING IN ACCORDANCE WITH THE LATEST EDITION OF THE PUBLICATIONS STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE AND STREET PAVING, AND STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING PUBLISHED BY HOUSTON PUBLIC WORKS.
 2. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATIONS IN THE FIELD PRIOR TO COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713-223-4587/811 OR 800-344-8377 AND LONE STAR NOTIFICATION CENTER AT 800-689-8344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION. UTILITIES MARKED WITHIN THE PUBLIC RIGHT OF WAY OR IN EASEMENTS SHALL COMPLY WITH TAC TITLE 16, PART 1, CHAPTER 18, RULE §18.6 AND THE AMERICAN PUBLIC WORKS ADMINISTRATION (APWA) UNIFORM COLOR CODE.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGES TO EXISTING WATER, WASTEWATER, STORM WATER LINES AND TRAFFIC CONTROL DEVICES. DAMAGES SHALL BE REPAIRED IN ACCORDANCE WITH THE HOUSTON PUBLIC WORKS, STANDARD CONSTRUCTION SPECIFICATIONS FOR WASTEWATER COLLECTION SYSTEM, WATER LINES, STORM DRAINAGE, AND STREET PAVING AND STANDARD CONSTRUCTION DETAILS FOR WASTEWATER COLLECTION SYSTEMS, WATER LINES, STORM DRAINAGE, AND STREET PAVING, REFERENCED ABOVE, AT NO ADDITIONAL COST.
 4. CONTRACTOR SHALL NOTIFY THE OFFICE OF THE CITY ENGINEER, CITY OF BRYAN FOR INSPECTION AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION.
 5. ADEQUATE DRAINAGE SHALL BE MAINTAINED AT ALL TIMES DURING CONSTRUCTION AND ANY DRAINAGE DITCH OR STRUCTURE DISTURBED DURING CONSTRUCTION SHALL BE RESTORED TO EXISTING CONDITIONS OR BETTER.
 6. CONTRACTOR SHALL TAKE NECESSARY PRECAUTIONS TO PROTECT ROOT SYSTEMS OF SHRUBS, PLANTS AND TREES ALONG THE AREA OF EXCAVATION.
 7. CONTRACTOR SHALL COMPLY WITH LATEST EDITION OF OSHA REGULATIONS AND THE STATE OF TEXAS LAWS CONCERNING EXCAVATION.
 8. CONTRACTOR SHALL MAINTAIN A SET OF REDLINE DRAWINGS AND RECORD AS-BUILT CONDITIONS DURING CONSTRUCTION. THESE REDLINE MARKED UP DRAWINGS WILL BE SUBMITTED TO THE DESIGN CONSULTANT WHO WILL MAKE THE CHANGES ON THE ORIGINAL TRACINGS, LABEL EACH SHEET IN THE SET AS "RECORD DRAWINGS", AND RETURN IT TO THE OFFICE OF THE CITY ENGINEER.

1. ALL SANITARY SEWER PIPE AND FITTINGS SHALL BE ASTM 3034 SDR 26 PVC.
2. EXIST. SANITARY SEWER AND WATERLINE DEPTHS, FLOWLINE ELEVATIONS ARE TO BE FIELD VERIFIED.
3. REFER TO GRADING PLAN FOR PROP. GRADING & DRAINAGE IMPROVEMENTS.
4. UTILITY LOCATION IS APPROXIMATE. UTILITIES PRESENTED ON THESE DRAWINGS ARE SHOWN BASED ON THE BEST AVAILABLE INFORMATION. CONTRACTOR SHALL VERIFY THE EXACT LOCATION IN THE FIELD BEFORE COMMENCING CONSTRUCTION. CONTRACTOR SHALL NOTIFY TEXAS ONE CALL AT 713 223 4567/800 245 4545 AND LONE STAR ONE CALL AT 800 689 8344 AT LEAST 48 HOURS BEFORE PROCEEDING WITH ANY EXCAVATION.
5. THE EXISTING WATER LINE AND SANITARY SEWER LINE DEPTHS ARE APPROXIMATE THE CONTRACTOR SHALL VERIFY DEPTHS BEFORE THE START OF CONSTRUCTION.
6. SEE SHEET P.001 FOR SANITARY SEWER DEMAND CALCULATIONS.
7. SEE SHEET P.001 FOR SAMPLE WELL LOCATION AND DIAMETER OF SAMPLE WELL.
8. SEE SHEET P.001 FOR INSTALLATION POINT FOR GREASE TRAP.



TEXAS BOARD OF PROFESSIONAL ENGINEERS F-19379
 4611 BIGGAM DRIVE
 FRESNO, TEXAS 77545
 (832) 443-4150

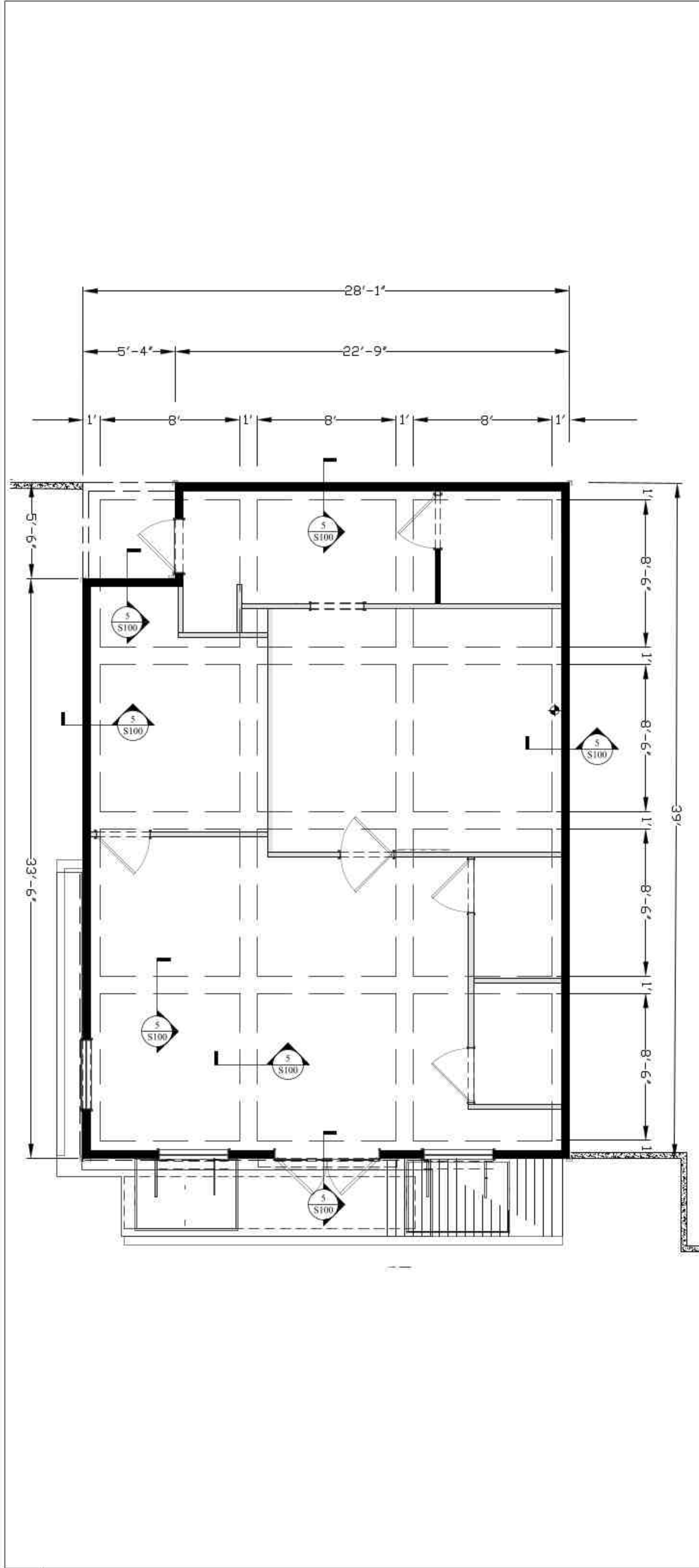
PROPOSED COFFEE HOUSE
 1500 NEWTON STREET
 BRYAN, TEXAS 77803

UTILITY PLAN

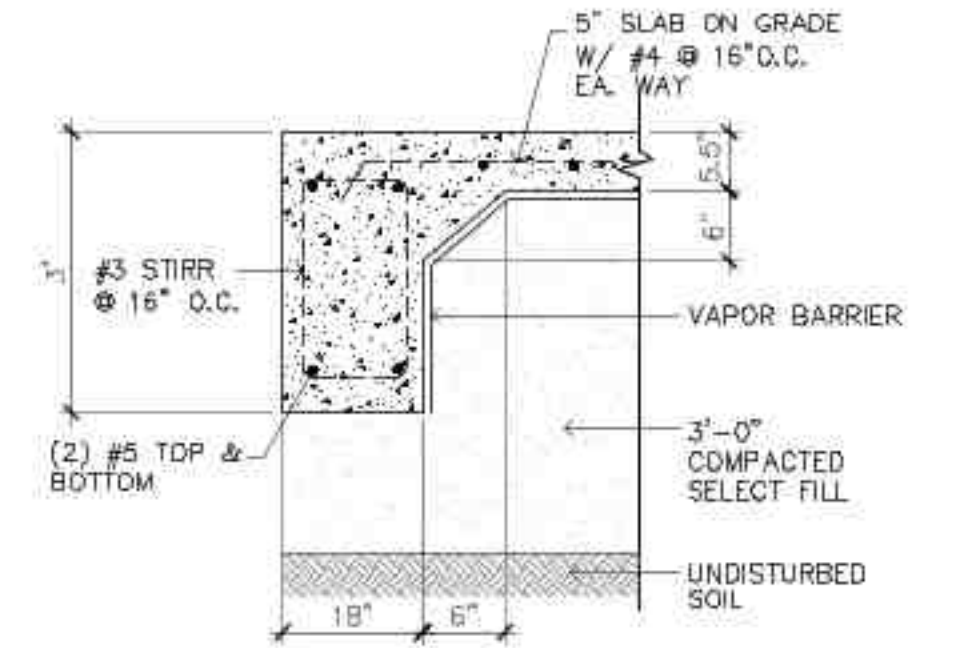
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 CHECKED BY : PROJECT NO :
 APPROVED BY :

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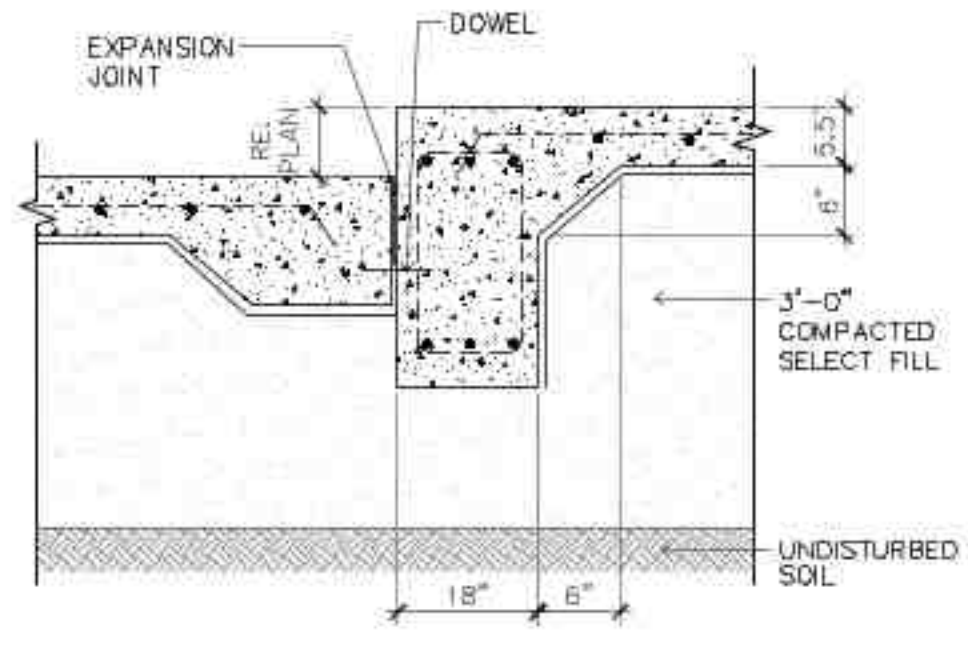
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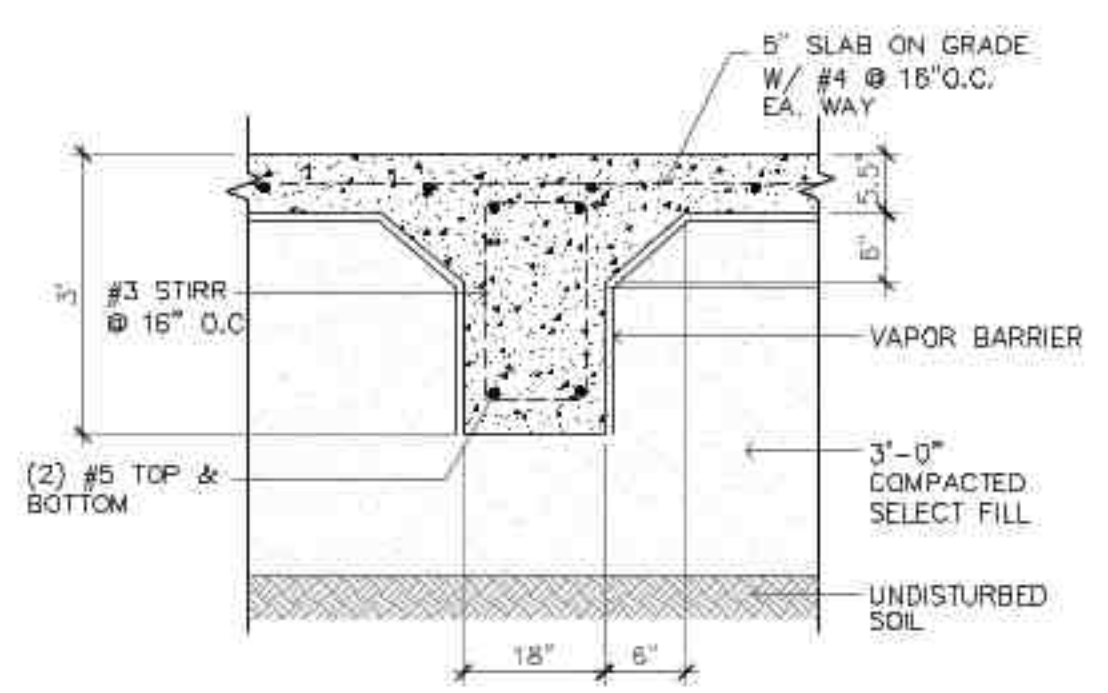
1 FOUNDATION PLAN SCALE: 3"=1'-0"



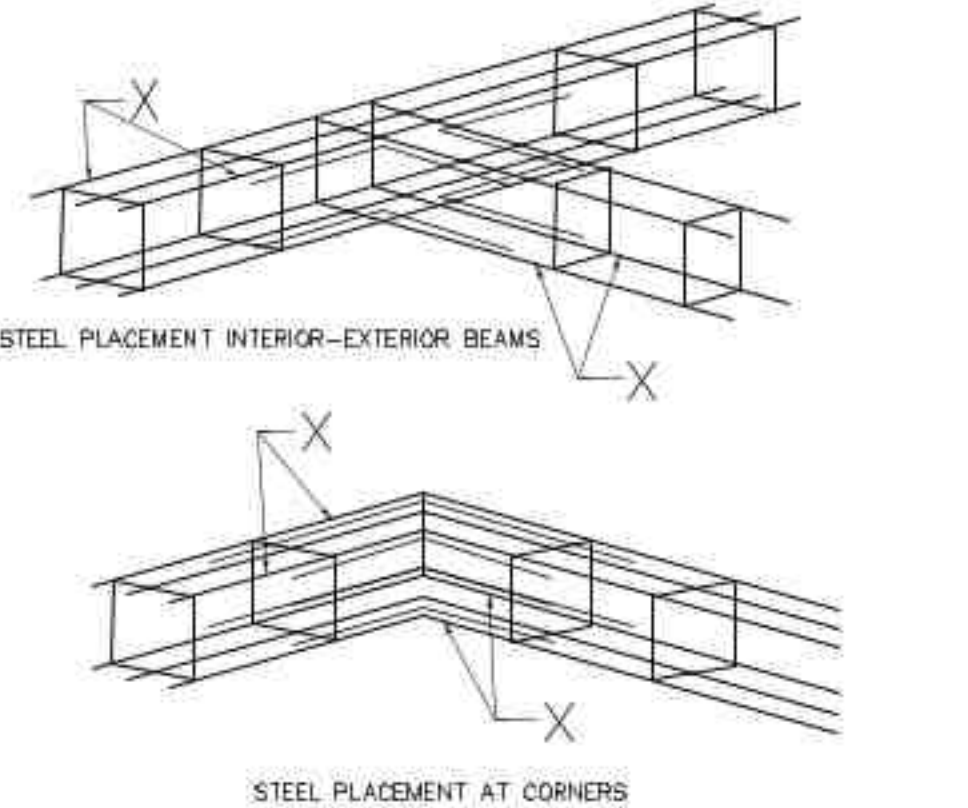
2 EXTERIOR BEAM DETAIL



3 EXTERIOR BEAM DETAIL



4 INTERIOR BEAM DETAIL



- NOTES:
- 1. "X" CORNER BARS SHALL BE CONSTRUCTED AS FOLLOWS:
 - EQUAL IN DIAMETER TO THE LARGEST SIZE OF ANY BARS MEETING AT ANY EXTERIOR CORNER.
 - 48 INCHES MINIMUM IN LENGTH (24"x24").

4.1 STEEL PLACEMENT

- FOUNDATION NOTES:
1. BUILDER MUST VERIFY ALL RAISE, DROPS, INSERTS, AND BLOCKOUT AND ENSURE DIMENSIONS AGREE WITH ARCHITECTURAL PLANS AND SPECIFICATIONS.
 2. AN UNDERLAYMENT FOR EQUIVALENT MATERIAL SHOULD BE PLACED AT CERAMIC OR CLAY TILE AREAS TO PREVENT DIRECT BONDING OF FLOOR COVERING TO CONCRETE SLAB. A 6'x6'x22.9'x2.9' WWF IS RECOMMENDED AT ALL PORCHES AND AT CERAMIC, BRICK OR CLAY TILE AREAS FOR CRACK CONTROL.
 3. DUE TO DIMENSIONAL DISCREPANCIES AND/OR OMISSION IN ARCHITECTURAL DRAWINGS, SOME DIMENSIONS MAY NOT AGREE WITH FLOOR PLAN. BUILDER SHALL BE RESPONSIBLE FOR FINAL VERIFICATION OF ALL SLAB DIMENSIONS. IF IT IS DETERMINED THAT ANY DIMENSIONS ON THIS FOUNDATION DO NOT CONFORM WITH THE ARCHITECTURAL PLAN, THE WECS SHOULD BE NOTIFIED AND ALLOWED TO REVIEW THE DRAWING AND MAKE REVISIONS AS REQUIRED.
 4. HOLD DOWN SIMPSON STD14, HTD OR HD9B OR EQUIVALENT SEE FRAMING DETAILS.
 5. THIS PLAN IS TO BE USED ONLY FOR THE LOCATION INDICATED ON THE TITLE BLOCK.
 6. BEAM DIMENSIONS SHOWN ARE MINIMUM REQUIRED AND MAY NOT BE REDUCED NOR ENLARGED WITHOUT APPROVAL OF THE ENGINEER.
 7. NO FIELD SUPERVISION IS PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED IN WRITING ON THIS PLAN. SLAB INSPECTIONS AFTER CONSTRUCTION WILL BE BILLED AT AN HOURLY RATE IF REQUESTED.
 8. TOP OF SLAB ELEVATION IS FOR REFERENCE ONLY. CONTRACTOR IS TO VERIFY REQUIRED TOP OF SLAB ELEVATION WITH SURVEYOR PRIOR TO SETTING FORMS.

6 FOUNDATION CONSTRUCTION NOTES

- CONCRETE
1. LAPS, SPLICES, TIES, AND IMBEDMENT LENGTHS FOR REINFORCING STEEL SHALL BE IN ACCORDANCE WITH A.C.I. "MANUAL OF STANDARD PRACTICE, DETAILS, AND DETAILING OF CONCRETE REINFORCEMENT", A.C.I. 318, A.C.I. 315, AND IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL CONCRETE WORK SHALL BE IN STRICT ACCORDANCE WITH A.C.I. STANDARD SPECIFICATION FOR CONCRETE AND REINFORCED CONCRETE. ALL CONCRETE PLACEMENT SHALL CONFORM TO A.C.I. 301 AND A.C.I. 318.
 2. COMPRESSION EMBEDMENT LENGTH SHALL BE 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.
 3. CLEAR DISTANCE BETWEEN ADJACENT LAYERS OF REINFORCEMENT SHALL BE 2 INCHES MINIMUM UNLESS NOTED OTHERWISE.
 4. THE CONTRACTOR SHALL BE ALLOWED TO MAKE SPLICES IN ADDITION TO THOSE INDICATED ON THE DRAWINGS WHERE ESSENTIAL TO CONSTRUCTABILITY, SUBJECT TO ENGINEER'S APPROVAL.
 5. SUBJECT TO ENGINEER'S APPROVAL, BARS MAY BE SHIFTED SLIGHTLY IN THE FIELD WHERE NECESSARY TO AVOID OPENINGS, PIPES, EMBEDDED ITEMS, OR OTHER OBSTRUCTIONS.
 6. HOOKS AND BENDS SHALL BE IN ACCORDANCE WITH ACI 318.
 7. PLACEMENT, CLEARANCES, AND MINIMUM CONCRETE COVER FOR REINFORCING SHALL BE PROVIDED IN ACCORDANCE WITH A.C.I. 318.
 8. SEE ARCHITECTURAL DRAWINGS FOR TOP OF SLAB ELEVATIONS, SLOPES, RECESSES, LEDGES, AND STEPS.
 9. ALL CONCRETE IN FOUNDATION BEAMS AND SLABS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 P.S.I. AT 7 DAYS AT THE TIME OF STRESSING AND 3500 P.S.I. AT 28 DAYS. CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE (REQUIREMENTS A.C.I. 318-80)
 10. BOTTOMS OF ALL EXCAVATIONS AND EARTHEN FORMS SHALL BE FLAT, LEVEL, TRUE TO GRADE AND LINE, AND COMPLETELY FREE OF LOOSE DIRT, DEBRIS, AND SLUSH. DAMPEN EARTH AGAINST WHICH CONCRETE IS POURED JUST PRIOR TO THE POUR, BUT DO NOT POUR INTO TRENCHES WITH STANDING WATER.
 11. FORMS FOR EXPOSED FINISH CONCRETE: PLYWOOD, METAL, METAL-FRAMED PLYWOOD FACED, OR OTHER ACCEPTABLE PANEL-TYPE MATERIALS TO PROVIDE CONTINUOUS, STRAIGHT, SMOOTH, EXPOSED SURFACES.
 12. ALL REINFORCING STEEL SHALL BE GRADE 60 BAR CONFORMING TO THE LATEST EDITION OF ASTM.
 13. ALL EXTERIOR BRICK OR DR. MASONRY WALLS TO HAVE EXPANSION AND CONTRACTION JOINTS. REFER TO ARCHITECTURAL DETAILS FOR LOCATIONS AND INFORMATION REGARDING SPACING, TYPE, LOCATION, INSTALLATION, AND MAINTENANCE. BRICK FLASHING AREAS MUST BE EXTENDED COMPLETELY TO THE EDGE OF THE CONCRETE IN ALL DIRECTIONS TO PREVENT BONDING TO THE FOUNDATION.
 14. SOIL PSI DESIGNED IN ACCORDANCE WITH 2015 IRC & FOR 1500 PSI LOAD BEARING PRESSURE.
 15. REQUIRED 6 ML. PLOY.VAPOR BARRIER BETWEEN GRADE BEAM & SELECT COMPACT FILL.
 16. 6" SLAB W/ #3 REBAR @ 15" O.C.E.W
 17. ALL CONCRETE TO BE 3,500 PSI.
 18. CONCRETE FOR TUBE COLUMNS SHALL BE 3,500 PSI.
 19. CONTRACTOR SHALL ACHIEVE 95% SOIL COMPACTION.
 20. MINIMUM OF 24" OF SELECT COMPACT FILL IS REQUIRED FOR FOUNDATION OR PADS.

7 CONCRETE FOUNDATION NOTES

ISSUE LOG		
No.	DATE ISSUED:	ISSUE DESCRIPTION

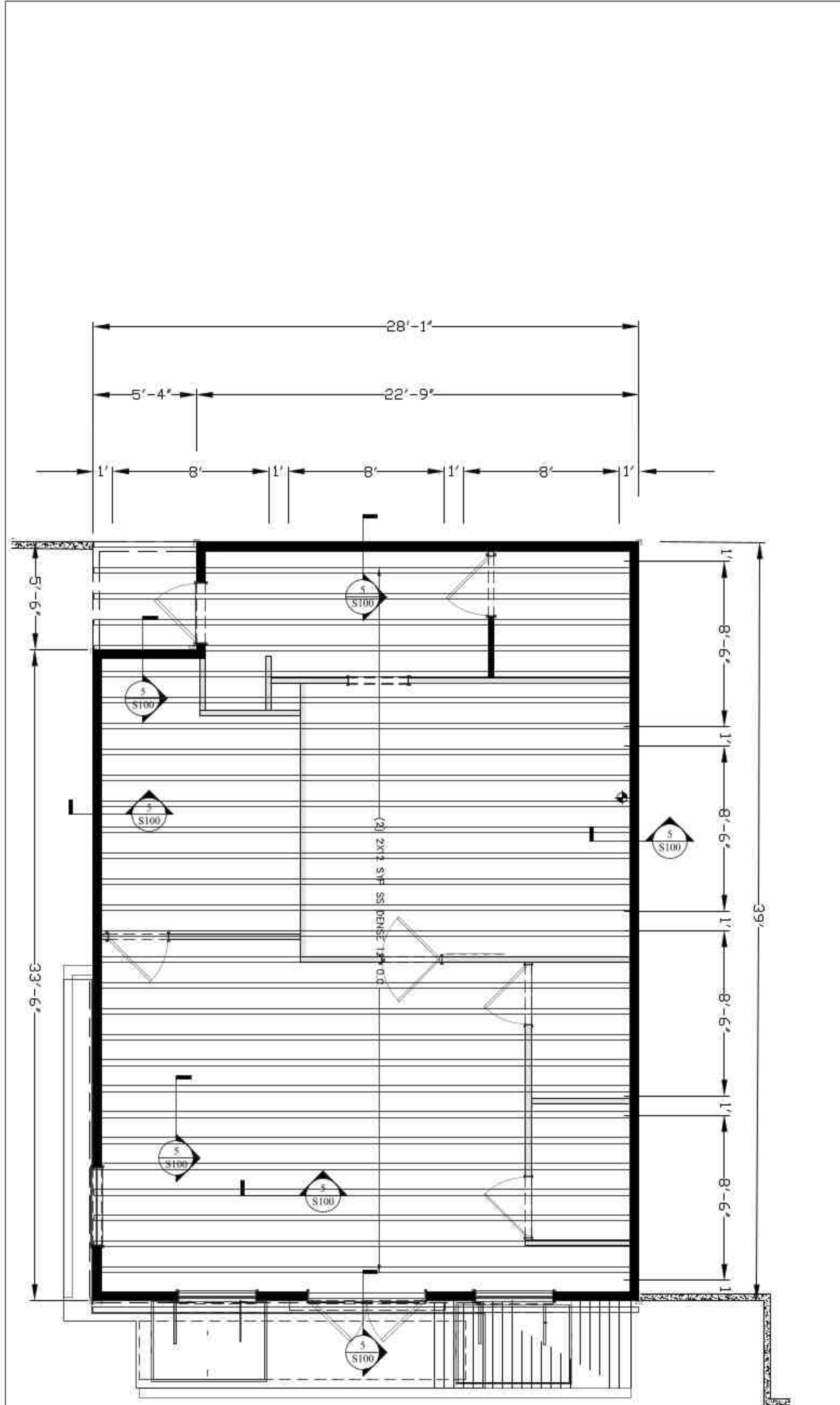


WECS
 TEXAS BOARD OF PROFESSIONAL ENGINEERS F-19379
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PROPOSED COFFEE HOUSE
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 BRYAN, TEXAS 77803

FOUNDATION PLAN

DESIGNED BY : G.W. DATE : AUG. 15, 2023
 DRAWN BY : M.B. SCALE :
 CHECKED BY : PROJECT NO :
 APPROVED BY :



NOTES:

1. SEE PLAN FOR STUD SPACING IN EXCEPTION TO SCHEDULE AND FOR STUD SPACING OF NON-STANDARD HEIGHT WALLS.
2. REFER TO "WOOD FRAMING NOTES" SECTION OF STRUCTURAL SPECIFICATIONS FOR CONDITIONS OF USE FOR FINGER JOINTED STUDS.
3. REFER TO "WOOD FRAMING NOTES" SECTION OF STRUCTURAL SPECIFICATIONS FOR MATERIAL AND LUMBER GRADE USING DFL OR SYP.
4. NON-BEARING WALLS SHALL BE 2x4 @ 16" O.C..
5. SHEARWALLS SHALL BE FRAMED IN ACCORDANCE WITH SCHEDULE ABOVE. IN NO CASE SHALL STUD SPACING BE GREATER THAN 16" O.C.
6. ALL STUDS SHALL BE MIN. "STUD GRADE" SYP OR DFL.
7. AT "WET WALL" USE 2x6 STUDS, FOLLOW SAME SPACING AS SCHEDULED FOR THE CONTINUING WALL.
8. FOR WALL STUDS SPACED @ 8" O.C. CONTRACTOR CAN USE 1 STAGGERED STUD W/2 STUDS @ 16" O.C.

ATTACHMENT ANCHOR TYPE	EMBEDMENT	LOCATION AND SPACING	
		EXTERIOR WALLS	INTERIOR WALLS
1/2"Ø ANCHOR BOLTS	7"	32" O.C.	72" O.C.
1/2"Ø EXPANSION ANCHORS	2 1/4"	N.A.	72" O.C.
0.177Ø POWDER-NAILS ACTUATED FORM	1 1/2"	N.A.	24" O.C.
0.099Ø POWDER-NAILS ACTUATED FORM	1"	N.A.	12" O.C.
M.A.S.	4"	32"	N.A.

NOTES:

1. EXPANSION ANCHORS SHALL NOT BE ALLOWED WITHIN 10 INCHES OF SLAB EDGE.
2. SECURE PLATE AT ANCHOR BOLTS WITH STANDARD PLATE WASHER AND NUT.

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FRAMING PLAN

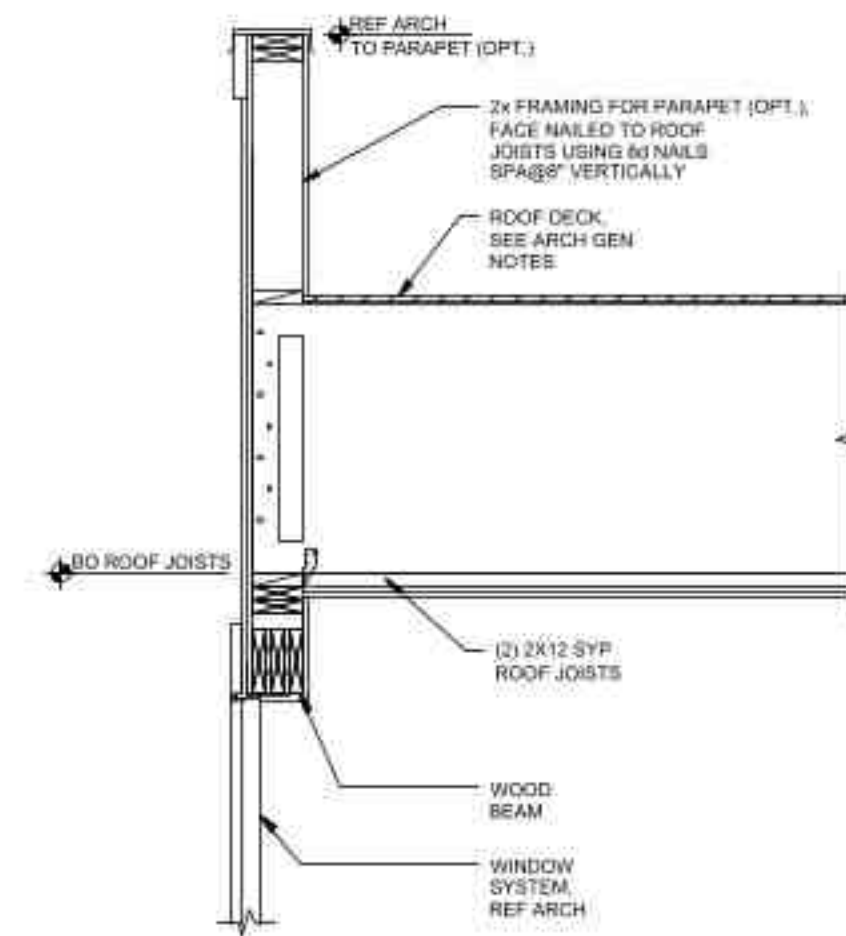
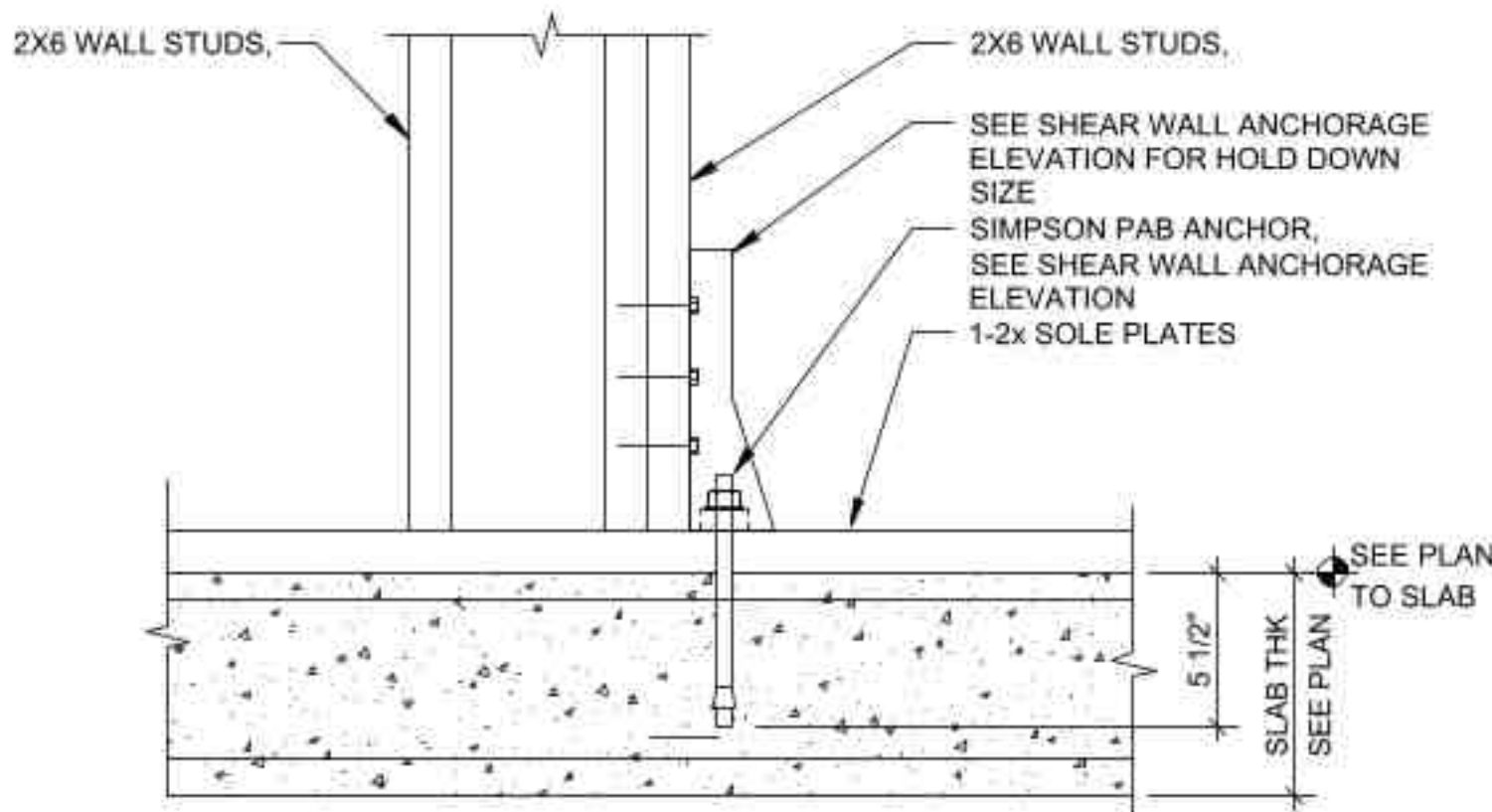
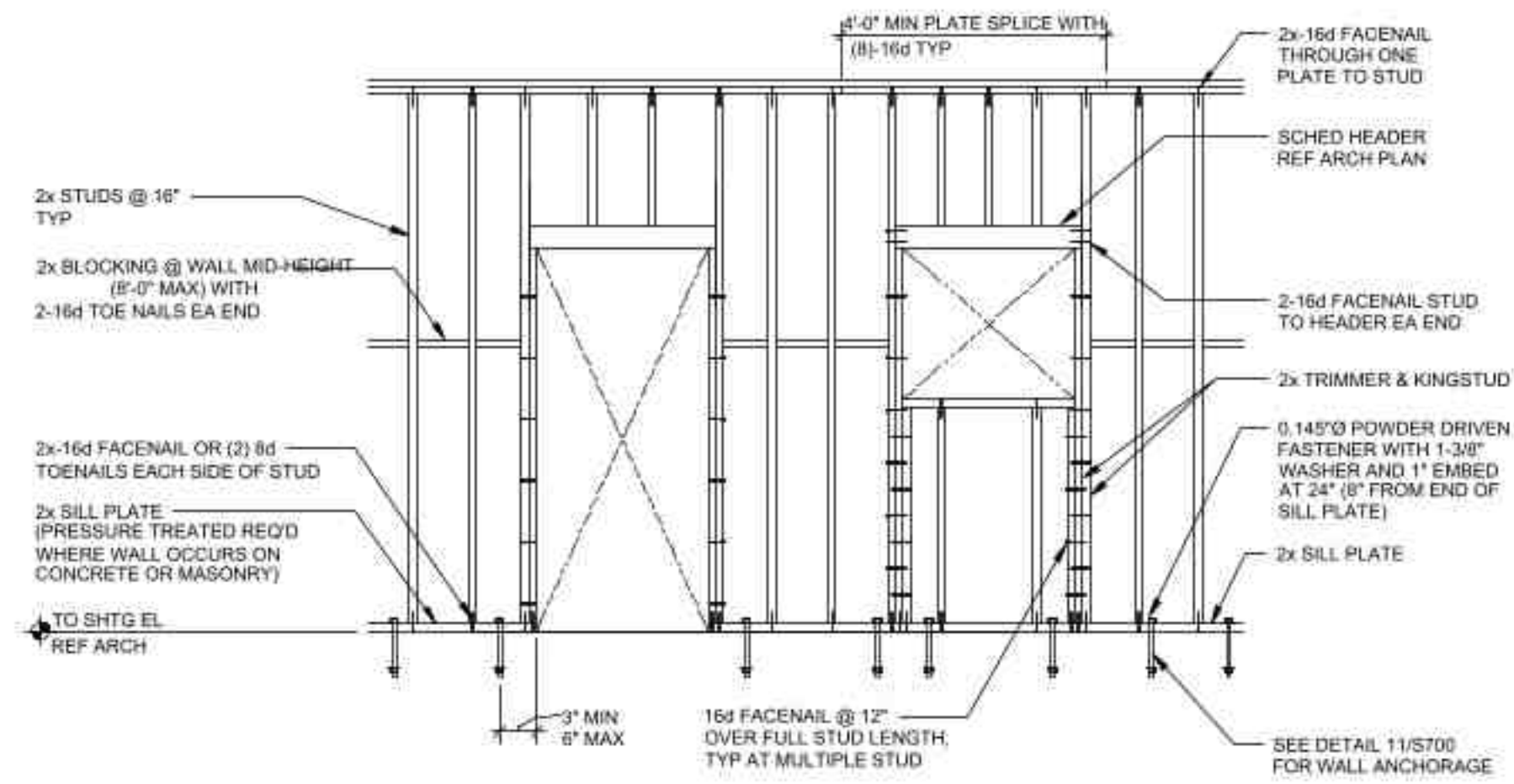
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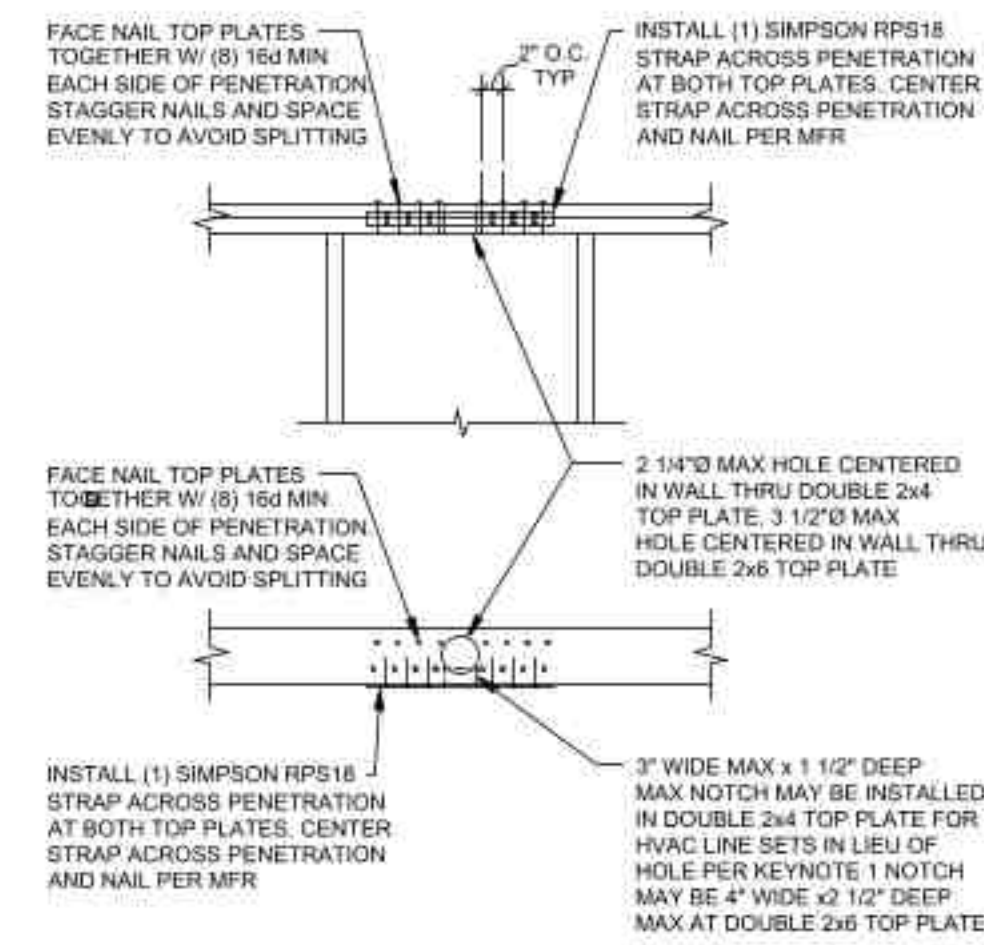
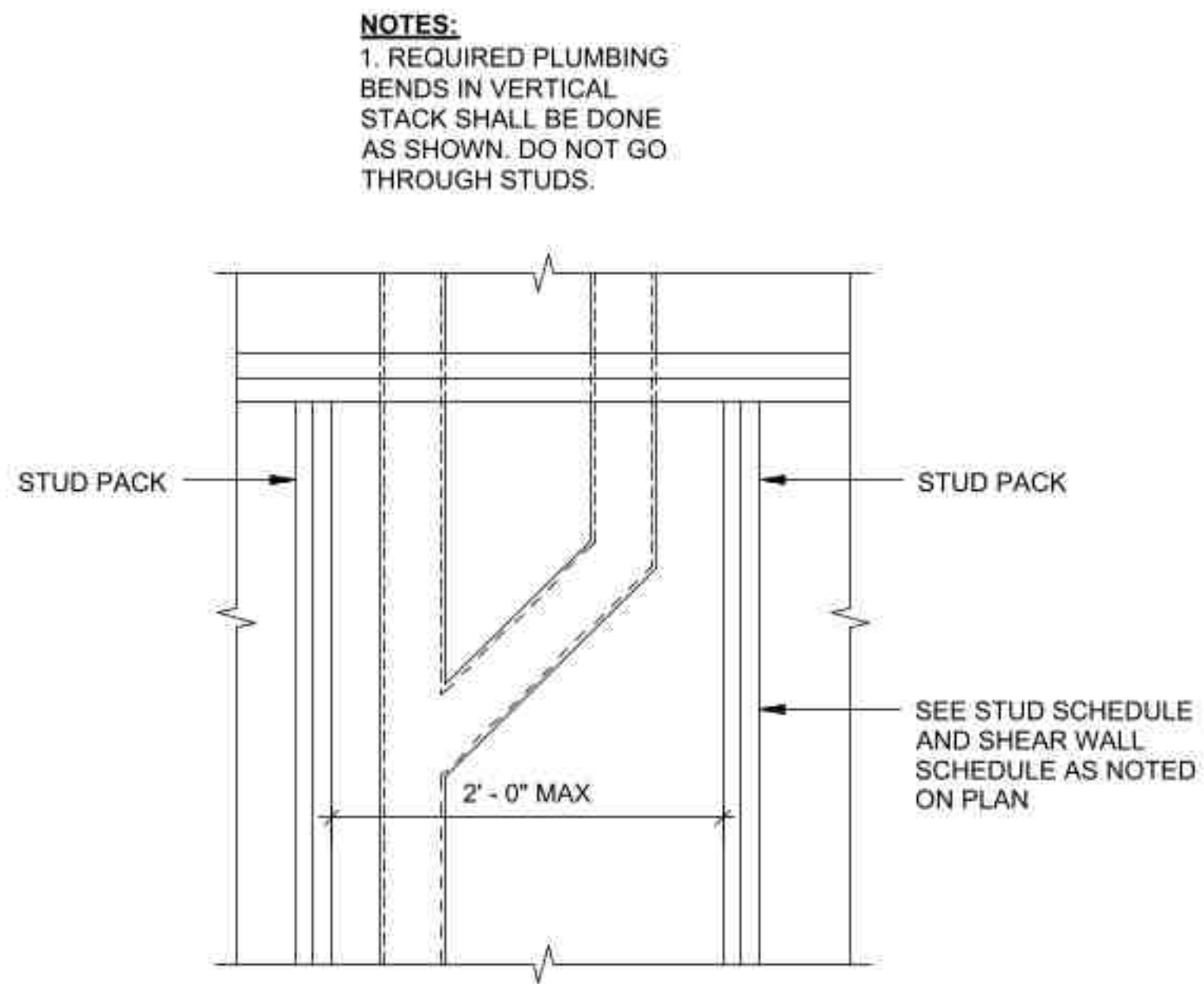
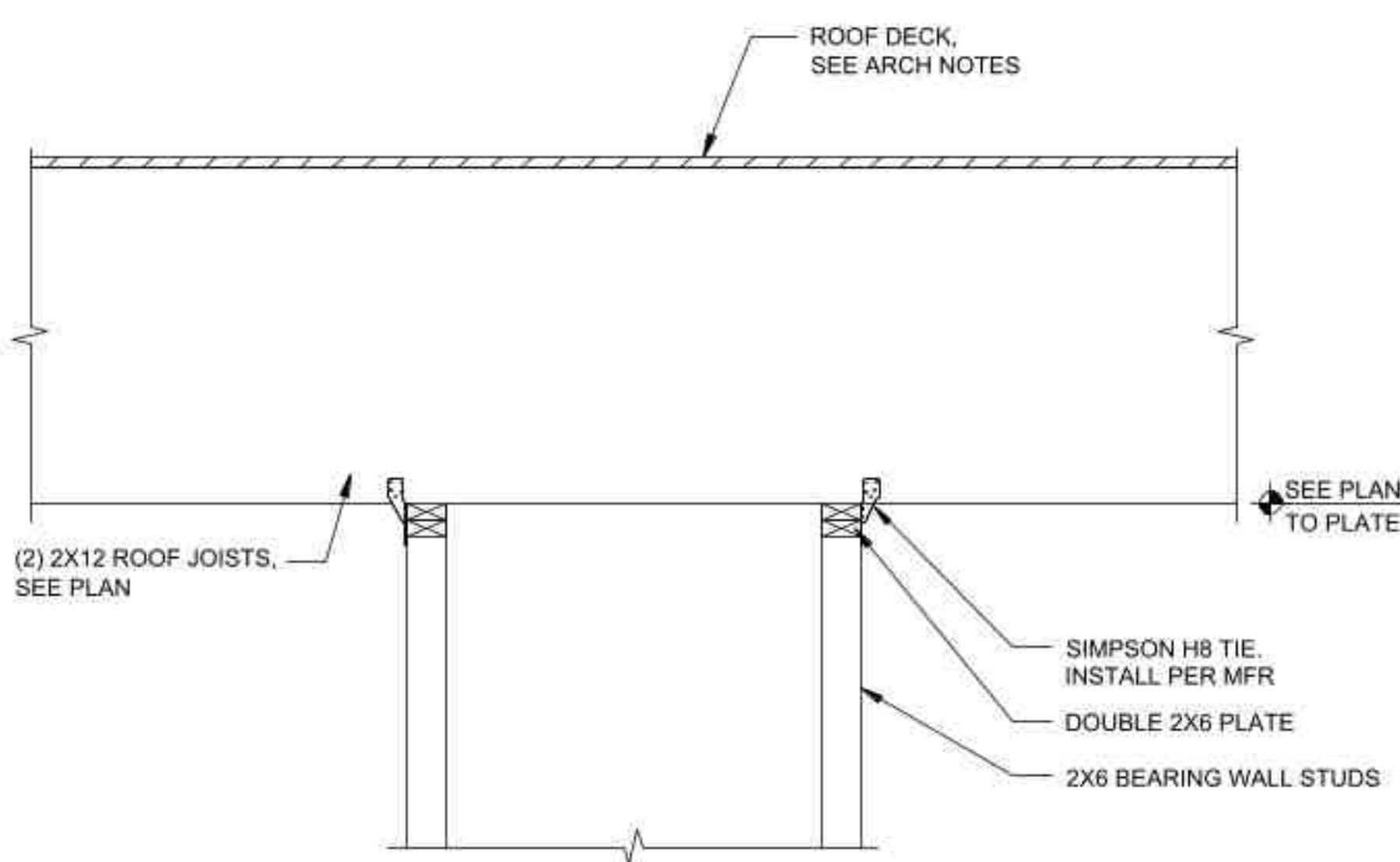
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1 TYPICAL INTERIOR NON-BEARING STUD WALL FRAMING

2 FOUNDATION CONNECTION

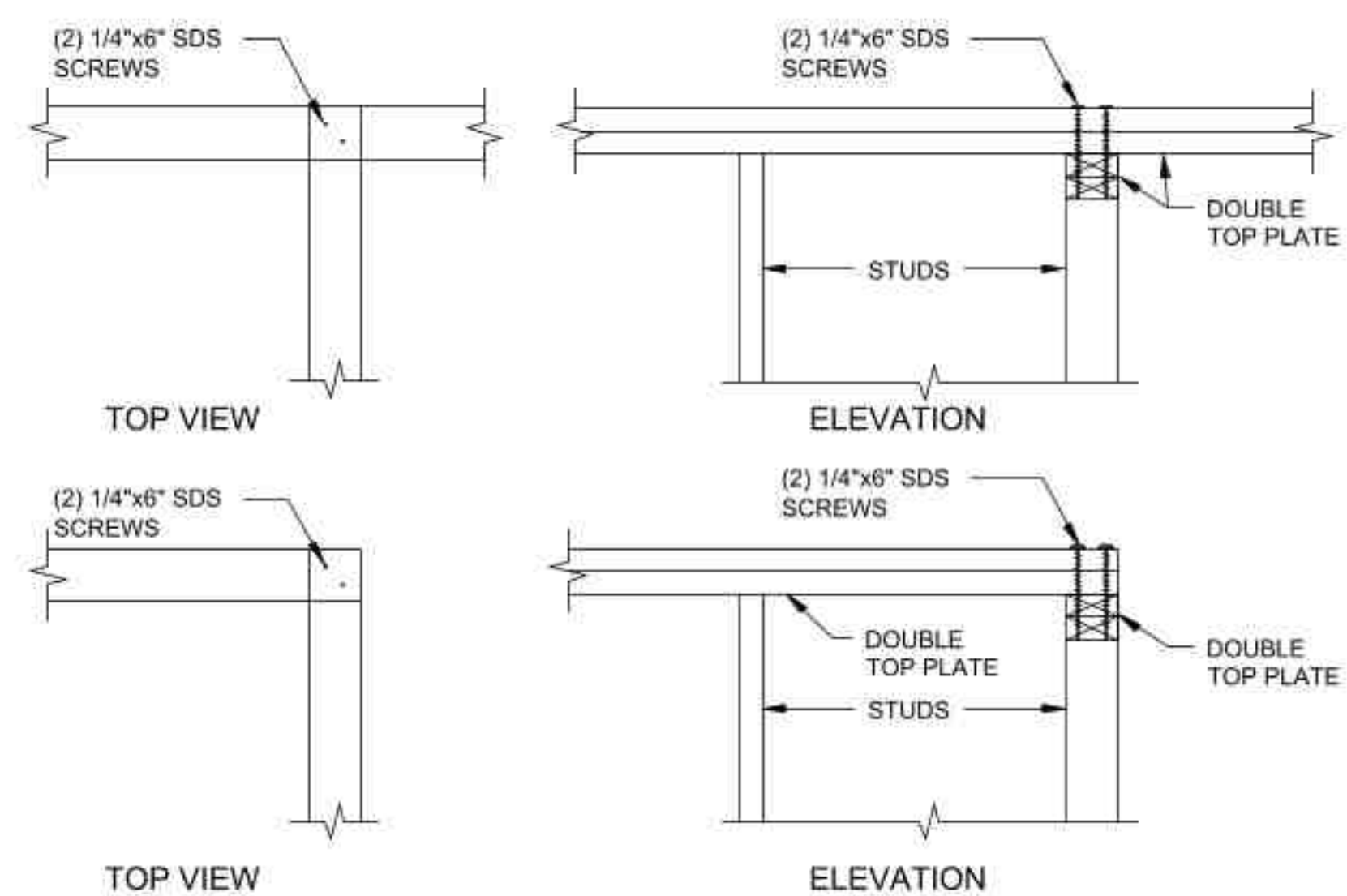
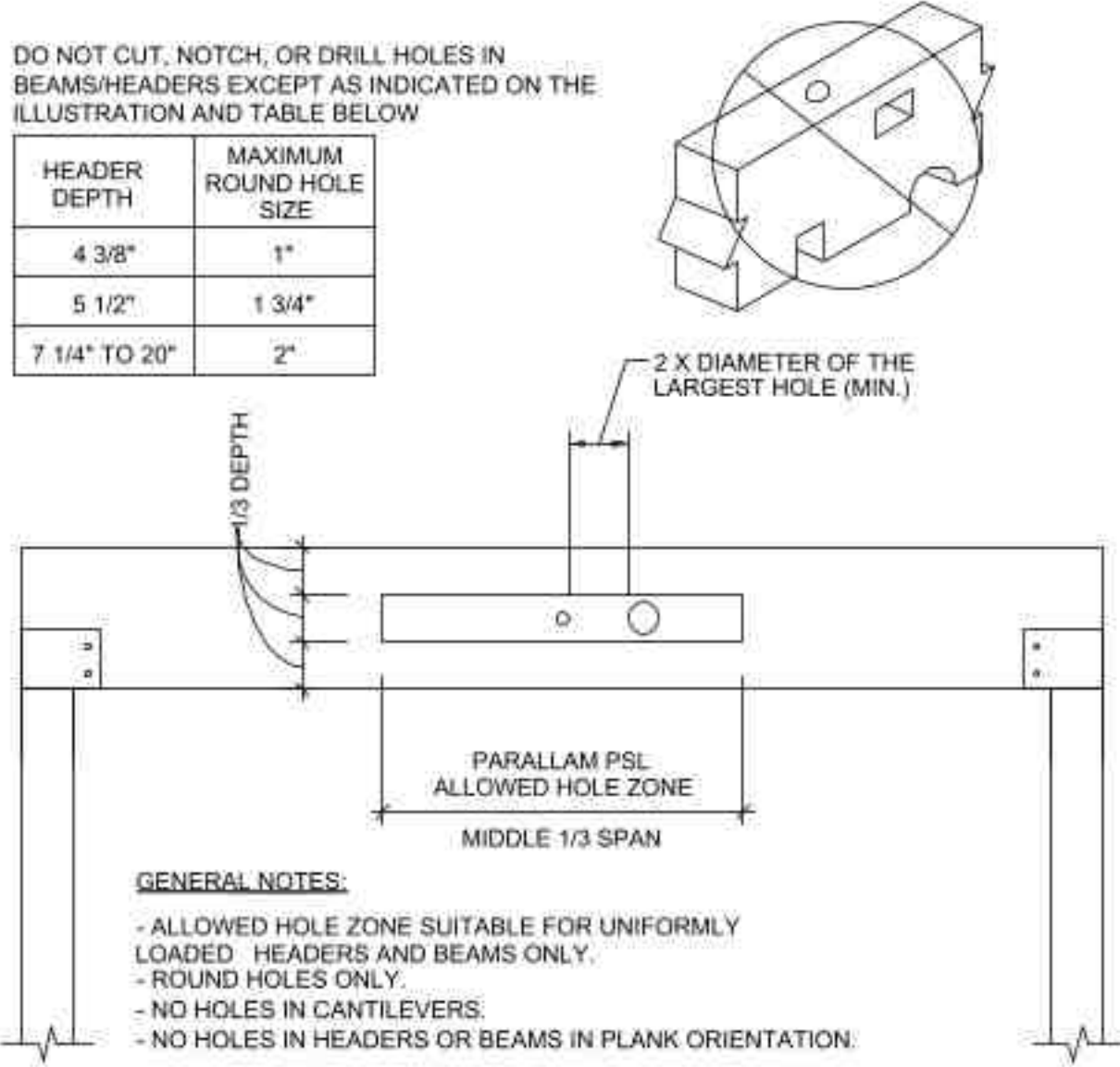
3 SECTION AT ROOF PARAPET (PARAPET OPT.)



4 ROOF TRUSS AT CORRIDOR

5 TYPICAL PLUMBING CHASE FRAMING

6 TYPICAL HOLE IN DBL TOP PLATE



7 SECTION AT ALLOWABLE HOLES IN BEAM/HEADERS

8 SECTIN AT CORNER/TEE



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FRAMING DETAIL PLAN

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